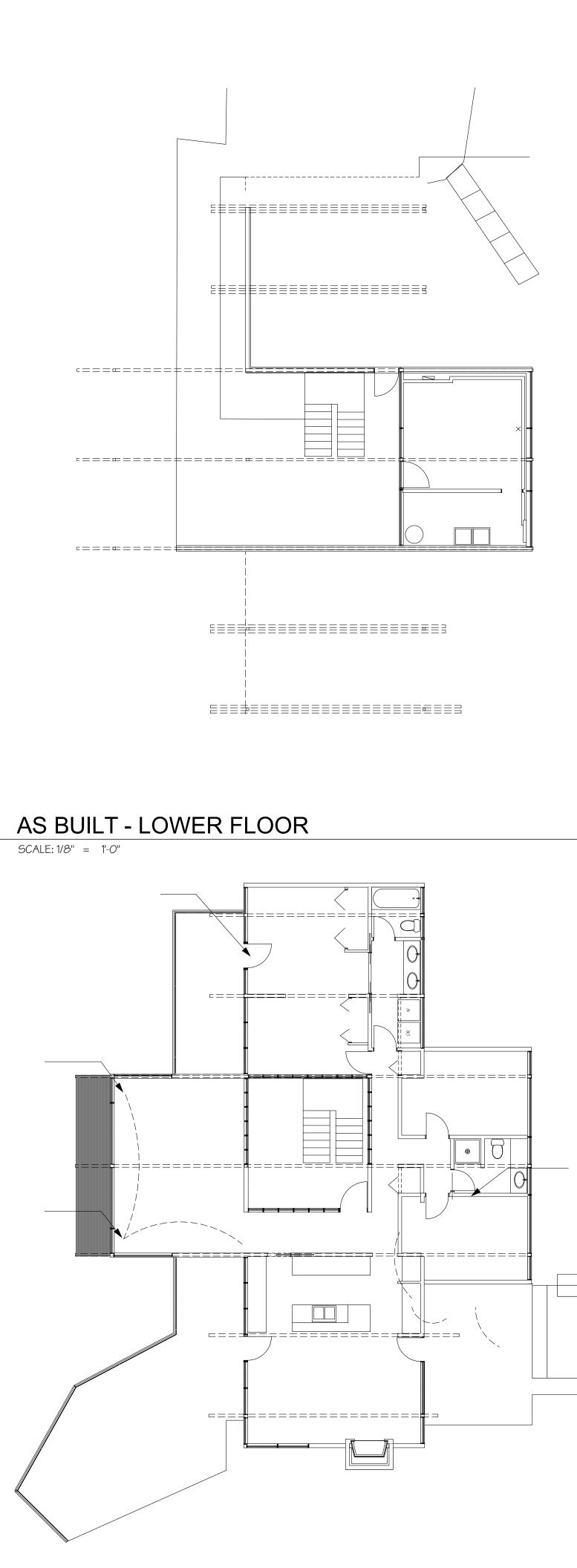




| CITY OF MERCER ISLAND | INSPECTION REQUES | |
|--|--|--|
| DEVELOPMENT SERVICES GROUP | online: | Construction of the project shall be from <i>approved plans only</i> . No deviation from the approved project plans is allowed without prior approval from the city of Mercer Island. Approved plans must be kept on site and maintained in good condition. |
| 9611 SE 36TH STREET MERCER ISLAND, WA 98040 PHONE: 206.275.7605 www.mercergov.org | WyBuildingPermit.co | Refer to "Conditions of Permit Approval" provided at permit issuance for required construction rules and regulations, including: Site Considerations ROW restrictions Additional Fire Code Requirements In advance of desired inspection. Be specific as to type of inspection. In advance of desired inspection. Be specific as to type of inspection. |
| MERCEA | voicemail: (206) 275-7730 | • Hours of Work • Drainage Requirements • Planning Req |
| Mlepian | (200) 270 7700 | Acess Road Requirements • Water Service Requirements • Tree Requirements • Tree Requirements • Tree Requirements • Tree Requirements |
| NOTE: ALL RECORDS AND DRAWINGS ARE SUBJECT TO | PUBLIC DISCLOSURE AS REQUIRED BY RCW 42.56 | O Refer to "Preconstruction Meeting Checklist" provided at the preconstruction meeting for development related requirements. O Pre-construction Meeting to Review Conditions of Permit Approval. Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure Image: Second structure |
| CONTACT INFORMATION: | TODELE DISCLOSORE AS REQUIRED BY REW 42.50 | Erosion control measures must be as shown on approved project drawings. All erosion control is to be in place and inspected prior to the start of any site work. |
| Applicant is to complete the following information. | | A City of Mercer Island Business License is required for all subcontractors. Call (206) 275-7783 for more information. |
| Applicant Contact information <i>prior</i> to permit issuance: | Applicant Contact information <i>post</i> permit issuance: | - Separate ROW permit required |
| Name: | Name: | Tree protection as shown on approved drawings shall be installed at tree dripline prior to start of any site work and Temporary power Temporary power Temporary power Pilings / Shoring / Shortrete. If applicable, provide survey letter Pilings / Shoring / Shortrete. If applicable, provide survey letter Pilings / Shortrete. P |
| Address: | Address: | No trees shall be cut without a City of Mercer Island tree permit. |
| Phone: | Phone: | Replacement trees must be a minimum of six feet tall at installation. They must be planted and approved prior to final inspection. reports of inspections (pile and shoring installation, etc.) For this project, trees are authorized to be removed and replaced with trees. |
| | | This project appears to be within a protected eagle nest area. Contact Federal Fish and Wildlife at (360) 534-9304 or visit their (building height and setbacks); Special Inspector reports of inspections |
| Email: | Email: | website at http://www.fws.gov/pacific/eagle (soil bearing capacity, compaction, earthwork, pile installation, etc.) FIRE PROTECTION REQUIREMENTS: |
| REQUIRED SPECIAL INSPECTIONS / STRUC | CTURAL OBSERVATIONS: | Separate Permits are required for ALL fire protection systems. For more information, see http://www.mercergov.org/Page.asp?NavID=2614 |
| It is the Engineer of Record's responsibility to specify all required The owner is responsible for hiring an approved private Special I | ed Special Inspections or Structural Observation (check items below). | Fire Sprinkler Monitored Household * Storm drainage, including (but not limited to): |
| Inspectors (except Geotechnical) must be WABO certified. | | NFPA 13D Fire Alarm per NFPA 72 Plus Monitored Sprinkler Monitored Sprinkler Monitored Sprinkler |
| | e report shall be submitted to the City Building Inspector prior to the City addition to the Special Inspection or Structural Observation indicated | NFPA 13R • Detention systems • Storm drain in ROW |
| below. Do not cover or conceal any work prior to the City inspec | · · | NFPA 13 • Control structures / manholes Approved Fire Code Alternatives: • Control structures / manholes • Catch basins including • Pump systems |
| STRUCTURAL OBSERVATION BY ENGINEER OF RECORD (EOR) | R): | FCA1 |
| 0 • • • • • • • • • • • • • • • • • • • | Phone:Phone: | FCA2 FCA4 Water Supply |
| General Conformance to Construction Documents | Other: | WATER SUPPLY REQUIREMENTS: |
| SOILS / GEOTECHNICAL: Special Inspector: Cor | ompany:Phone:Phone: | Connections to side Back-flow valves Back-flow valves Sewer main Grinder pump systems |
| Erosion control measures | Subsurface drainage placement | Connections to existing Sewer manholes |
| Shoring installation and monitoring Observe and monitor excavation | Verify fill material and compaction Rockery installation | City Installation. |
| Verification of soil bearing | Pile placement (auger cast/driven pile) | Required Service Line Size: Required Supply Line Size: Required Meter Size: |
| Other: | Other: | (water main to meter) (water main to house) Underslab insulation / vapor barrier / reinforcing Underfloor framing |
| REINFORCED CONCRETE: Special Inspector:Cor | pmpany:Phone: | Pressure reducing valve required if pressure exceeds 80 psi. Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells Reduced pressure backflow assembly (RPBA) required for all lots with waterfront or non-city water supply (private wells |
| Concrete strength | Retaining wall construction | or lake irrigation). |
| Reinforcing steel and concrete placement Shotcrete placement | Prestressed / Precast construction Other: | Additional water supply requirements: Additional water supply requirements: Inspection letter for lateral wood inspection. |
| Other: | Other: | Unsite detention system required. Direct discharge into the lake. Image: All and the lake. <td< td=""></td<> |
| STRUCTURAL STEEL: (AISC 360, Chapter N) | | S On site infiltration system required No Storm Water permit required No Storm Water permit required And the system required installation (DWV, water) |
| Special Inspector: Cor Fabrication and shop welds | ompany: Phone: Moment Frame construction | O As-built Utility drawings required. Connection to public storm drainage conveyance system req'd. Rough mechanical Image: Full Size drawings required. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to public storm drainage conveyance system req'd. Image: Connection to publi |
| Structural steel erection, field welds and bolting | Other: | BIDE SEWER REOLIREMENTS: |
| Other: | Other: | O Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is Image: Side sewer requires a backflow preventer when connecting to the lake line or when the elevation of the lowest plumbing fixture is |
| STRUCTURAL MASONRY: Special Inspector:Cor | ompany:Phone: | lower than the elevation of the upstream manhole rim or when side sewer is shared with one or more properties. |
| Mortar strength | Glass unit masonry installation | New connection. Connect to existing. Disconnect permit required. Reconnect permit required. Stucco (paper and lath) |
| Masonry unit strength Other: | Wall panel and veneer installation Other: | Other: Other |
| Other: | Other: | Mercer Island Maintenance Department at (206) 275-7800. |
| WOOD: | | APPROVED CODE ALTERNATIVES: Code alternative ca2 Impact Fees Paid (If applicable) |
| Special Inspector / Engineer of Record: Cor | ompany:Phone: | CA1: CA2: CA2: CA2: TT |
| Lateral resisting system construction Other: | High strength diaphragm construction Other: | |
| | | Access Road Fire Extinguishing System |
| | ompany:Phone: | SURVEY REQUIREMENTS (The following survey information must be submitted when checked): • Fire Code Alternatives (see below) • Fire Alarm System Image: I |
| Epoxy grout installations | Stucco installation | Surveyor shall verify points chosen for height calculations and point verification shall be submitted at the time of City foundation Inspection. A property survey may be required to verify setbacks and in some cases buildings must be surveyed onto the lot. The City Inspection: Water supply protection, including (but not limited to) TW |
| Expansion anchor installations Other post installed anchors | Infiltration System Exterior Insulation Finish System (EIFS) installation | reserves the right to request an impervious area survey at any time prior to issuance of Certificate of Occupancy. |
| Alternative construction methods: Alternative construction materials: | Other: | Surveyor: • Waterfront property • Well water on property Building height survey • Fire / lawn sprinkler • Boiler |
| DEFERRED SUBMITTALS: | | Building setback survey TS |
| | p drawings for submittal to the City for review and approval prior to iten | |
| fabrication / construction. | Post tension layout | A Building Inspection prior to demolition is required for all legally nonconforming single family dwelling to ensure no more than Inspectors, Geotechnical Engineer, and exterior wall cladding inspectors (EIFS). |
| Metal joist / metal trusses | Exterior cladding | 40 percent of the dwelling's exterior walls are structurally altered. Contact the Building Inspector at (206) 275-7730. |
| Premanufactured structures (stairs, etc.) Precast concrete elements | Window wall / curtain wall construction Other: | Applicant option. Additional fees will be required and must be approved prior to occupancy. TCO requires tree plantings be completed. |
| Other: | Other: | |
| ENERGY CODE COMPLIANCE INFORMATIO | ON: ing set. Alternatively, incorporate or include the Residential Energy Code | without an approved Seasonal Development Limitation Waiver. Approved |
| Prescriptive Compliance (RECPC) Form into the drawing set. | ing set. Alternatively, incorporate of include the Residential Energy Code | Geotechnical Report provided. An construction must be kept on site at all times. |
| Sheet: | | Call the appropriate contact to arrange the inspection. |
| Building envelope: wsec Table 402.1.1 | Air Leakage Testing. IRC Section R402.4.1.2 WA Amendments | Geotechnical Engineer Phone Scheduling: SEASONAL DEVELOPMENT LIMITATION RESTRICTION: Phone Scheduling: |
| (include U-factors, insulation and moisture control) | Provide air leakage test report verifying air leakage rate does not to exceed 5 air changes per hour. | Applies (Geologic Hazard area). Grading not permitted between October 1 through April 1. |
| (include ventilation option and duct sizing if applicable) | Duct Leakage Testing. WSEC R403.2.2 | Imitation Waiver Permit. |
| Energy Credit Information: wSEC Table 406.2 (include specific, written requirements) | Postconstruction Test. wsec R403.2.2.1 Rough-in Test. wsec R403.2.2.3 | Permit number Approved by Date PLAN REVIEW APPROVALS: |
| RECPC Form Information: | _ · · | If applicable. Not all review disciplines may be required to review the documents. |
| (if incorporated within drawing set) http://www.mercergov.org/files/2012ResidentialEnergyCalcForm.pdf | | □ Impact fees apply and are due <i>prior</i> to Final Inspection or on |
| | | $\begin{array}{c} \Box \\ O \\ \hline O \\ \hline \end{array}$, whichever occurs first. $\begin{array}{c} \Box \\ \hline \\ Building \\ \hline \\ \\ Fnaineering \\ \hline \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ \\ $ |
| FILE NAME: DSG CVR 2016 24x36.PDF | | REVISED: December 1st, 2015 |



AS BUILT - MAIN FLOOR SCALE: 1/8" = 1'-0"

GENERAL NOTES

THESE DRAWINGS ARE THE PROPERTY OF H2D, LLC. ANY REPRODUCTIONS MUST BE AUTHORIZED BY THE ARCHITECT AND MUST BEAR THE NAME OF THE ARCHITECT. © COPYRIGHT 2 THESE DRAWINGS ARE PROTECTED BY FEDERAL AND STATE COPYRIGHT LAWS. 1. <u>CODES/REGULATIONS:</u>

-CONSTRUCTION TO CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC), WASHINGTON STATE LAWS AND REGULATIONS, CURRENT WASHINGTON STATE RESIDENTIAL ENERGY VARIOUS CODES INFORMATION AND ADDRESS AN

-A SEPARATE PERMIT MAY BE REQUIRED FOR PLUMBING, ELECTRICAL, AND/OR MECHANICAL WORK AS APPLICABLE. -A COPY OF THE APPROVED PERMIT PLANS MUST BE ON THE JOB SITE DURING CONSTRUCTION.

2. CONTRACTOR'S RESPONSIBILITY:

-PRIOR TO CONSTRUCTION, THE CONTRACTOR IS TO VERIFY ALL DIMENSIONS AND STRUCTURAL MEMBER SIZES. -DO NOT SCALE CONTRACT DOCUMENTS.

-IF ANY DISCREPANCIES IN THE DRAWINGS OR FROM THE CODES ARE NOTED, ARCHITECT IS TO BE NOTIFIED IMMEDIATELY. -ALL CHANGES MADE BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION.

-THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, SAFETY PRECAUTIONS, ACTS OR OMISSIONS OF THE CONTRACTOR. -CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE AND WEATHERPROOFING OF THE ENTIRE BUILDING, ITS COMPONENT EQUIPMENT, AND PARTS.

-ALL STRUCTURAL SYSTEMS SUCH AS WOOD TRUSSES WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANU DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLER. -ALL WORK MUST FOLLOW CURRENT RRP RULES AND REQUIREMENTS AS DEFINED BY THE EPA AND THE STATE OF WASHINGTON.

-ALL WASTE AND REFUSE CAUSED IN CONNECTION WITH THE WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT TO THE SATISFACTION OF THE OWNER. -CONTRACTOR SHALL DESIGN AND INSTALL SHORING AS REQUIRED TO PERFORM WORK. ENGINEERING, CONSTRUCTION AND SAFETY OF THE SHORING SHALL BE THE RESPONSIBILITY OF

- SOILS: -FOUNDATION DESIGN IS BASED ON AN ASSUMED AVERAGE SOIL BEARING OF 2,000 PSF OR PER GEOTECHNICAL REPORT. ALL FOOTINGS SHALL BE CAST ON UNDISTURBED FIRM NAT COMPACTED SOIL OF 2,000 PSF BEARING CAPACITY AT LEAST 1-6" BELOW LOWEST ADJACENT GRADE, AND FREE OF ORGANIC MATERIALS. FOOTING EXCAVATION SHALL BE FREE OF DEBRIS, AND FREE WATER AT ALL TIMES. THIS OFFICE TAKES NO RESPONSIBILITY IN VERIFYING THE ACCURACY OF ENGINEERING DATA SUPPLIED BY OTHERS.
 ATTIC REQUIREMENTS:
- -APPLY ROOFING IN ACCORDANCE WITH IRC CHAPTER 9. PROVIDE ATTIC VENTILATION AS INDICATED ON DRAWINGS AND AS OUTLINED IN IRC SEC R806.

-THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 50 PERCENT VENTILATING AREA IS PROVIDED BY VENTILATION LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OF CORNICE VENTS WITH THE BALA REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. (IRC SEC R806). -ATTIC ACCESS: MINIMUM 22" x 30" WITH MINIMUM 30" HEADROOM, UNOBSTRUCTED, READILY ACCESSIBLE OPENING. IRC SEC R807. ACCESS DOORS SHALL BE WEATHERSTRIPPED AN LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES.

-IN ROOMS NOT PROVIDED WITH AN OPERABLE WINDOW OF 1.5 SQ. FT. OR GREATER, A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR SHALL BE -VENT DRYER, BATH FANS, AND RANGES/OVENS TO THE OUTSIDE.

5. VENTILATION:

-VENT FANS SHALL TERMINATE AT THE EXTERIOR OF THE BUILDING PER IRC SECTION M1502.3 AND IMC SECTION 501.3.

- -WHOLE HOUSE VENTILATION TO BE PROVIDED BY LUNOS E2 HRV SYSTEM. SYSTEM TO MEET MINIMUM REQUIREMENTS OF IRC M1507.3 WA AMENDED. -INSULATE ALL DUCTS OUTSIDE OF CONDITIONED SPACE PER WA STATE ENERGY CODE.
- -KITCHEN RANGE HOODS: RANGE HOODS CAPABLE OF EXHAUSTING MORE THAN 400 CFM REQUIRE MAKE-UP AIR PER IRC M1503.4.

6. <u>GLAZING:</u>

-TO BE IN COMPLIANCE WITH IRC SEC R308 AND WASHINGTON STATE SAFETY GLASS LAW, EXCEPTIONS ARE AS OUTLINED IN IRC SEC R308. -GLAZING IN LOCATIONS SUBJECT TO HUMAN IMPACT SUCH AS GLASS IN DOORS, GLAZING WITHIN 24" ON EITHER SIDE OF A DOOR OPENING, GLAZING CLOSER THAN 18" TO A FLOOR, SH TUB ENCLOSURES SHALL BE WIRE REINFORCED, TEMPERED GLASS, LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC.

-SLIDING GLASS DOORS TO BE SAFETY GLAZING, LAMINATED OR TEMPERED GLASS.

-SHOWER ENCLOSURES SHALL BE APPROVED WIRE REINFORCED, TEMPERED OR LAMINATED SAFETY GLASS OR SHATTER RESISTANT PLASTIC. -GLAZING WITHIN 18" OF FLOOR AND GREATER THAN 18" IN LEAST DIMENSION SHALL COMPLY WITH IMPACT LOADS. SEE PLANS.

-ALL EXTERIOR WALL GLAZING SHALL BE DOUBLE GLAZED, UNLESS NOTED OTHERWISE, AND COMPLY WITH STATE OF WASHINGTON ENERGY CODE.

-EGRESS IN EVERY SLEEPING ROOM SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", MINIMUM NET CL OF 20" AND A FINISHED SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. IRC SEC R310. 7. <u>ENERGY:</u>

-ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO IRC REQUIREMENTS AND THE WASHINGTON STATE ENERGY CODE, LATEST EDITION. VERIFY ALL CONDITIONS

PROCEEDING WITH WORK. -APPLICATION AND INSTALLATIONS OF INSULATION AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS. -BUILDING AIR LEAKAGE TESTING, PER SEC 502.4.5, IS REQUIRED PRIOR TO FINAL INSPECTION. THE TEST RESULTS SHALL BE POSTED ON THE RESIDENTIAL ENERGY COMPLIANCE CER -EACH DWELLING UNIT IS TO HAVE ONE PROGRAMMABLE THERMOSTAT FOR REGULATION OF TEMPERATURE PER SEC 503.8.1.

-A SIGNED AFFADAVIT DOCUMENTING THE DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR PRIOR TO AN APPROVED FINAL INSPECTION. -DUCT LEAKAGE TEST RESULTS SHALL BE PROVIDED TO THE BUILDING INSPECTOR AND HOMEOWNER PRIOR TO AN APPROVED FINAL INSPECTION.

-MINIMUM 75% OF PERMANENTLY INSTALLED LAMPS IN LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS PER SEC 404.1.

-WHERE THE PRIMARY HEATING SYSTEM IS A FORCED-AIR FURNACE, AT LEAST ONE THERMOSTAT PER DWELLING UNIT SHALL BE CAPABLE OF CONTROLLING THE HEATING AND COOLING DAILY SCHEDULE TO MAINTAIN DIFFERENT TEMPERATURE SET POINTS AT DIFFERENT TIMES OF THE DAY. THE THERMOSTAT SHALL ALLOW FO, AT A MINIMUM, A 5-2 PROGRAMMABLE SET (WEEKDAYS/WEEKENDS) AND BE CAPABLE OF PROVIDING AT LEAST TWO PROGRAMMABLE SETBACKS PER DAY.

8. <u>STAIRS:</u>

-MINIMUM HEADROOM 6'-8"; MINIMUM TREAD 10"; MAXIMUM RISER 7 3/4" -HANDRAIL: REQUIRED AT ALL STAIRS WITH MORE THAN 4 RISERS PER IRC 311.7.8. MINIMUM 34" AND MAXIMUM 38" ABOVE TREAD NOSING. OPEN SIDES OF STAIRS MORE THAN 30" AB FLOOR SHALL HAVE HANDRAILS AND GUARDRAILS. HANDRAIL TO BE 1 1/4"-2" CROSS SECTIONAL DIMENSION AND 1 1/2" AWAY FROM WALL. -GUARDRAIL: SHALL BE MIN 36" IN HEIGHT WHERE ADJACENT SURFACE OR GRADE IS 30" OR MORE BELOW. RAILINGS SHALL BE SPACED TO NOT ALLOW THE PASSAGE OF A 4" SPHERI -INSTALL FIRE BLOCKING AT MID-STRINGER SPAN AND AT WALL ALIGN STRINGER.

-COVER WALLS AND SOFFITS OF USABLE SPACE UNDER STAIR WITH 5/8" TYPE "X" GYPSUM WALLBOARD. 9. INSULATION:

-INSULATION TO MEET THE CURRENT WASHINGTON STATE ENERGY CODE REQ'TS FOR TABLE R402.1.1, TABLE R402.1.3 AND SECTION R402. REFER TO PRESCRIPTIVE TABLE ON SHEET C -EXISTING WALLS THAT ARE OPENED DURING A REMODEL TO BE INSULATED WITH R-21 BATT (FOR 2x6 WALLS) AND R-15 HIGH DENSITY BATT (FOR 2x4 WALLS) UNLESS NOTED OTHERWI -WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION. BELOW GRADE WALLS TO BE INSULATED WITH MINIMUM R-21 INSULATION, ALLOW FOR THERMAL BREAK BETWEEN FLOOR SLA WALL UNLESS NOTED OTHERWISE.

-ROOF AND CEILING INSULATED WITH R-49 BLOWN-IN AT FLAT CEILINGS AND R-38 H.D. BATT AT VAULTED AREAS UNLESS NOTED OTHERWISE. -ROOF: ALLOW FOR A MINIMUM 1" CLEAR BETWEEN TOP OF INSULATION AND BOTTOM OF SHEATHING FOR VENTING UNLESS NOTED OTHERWISE.

-VENTING IS REQUIRED IN EACH JOIST SPACE. WHERE CONTINUOUS VENTING WITH A JOIST SPACE IS INTERRUPTED BY A HEADER (FOR EXAMPLE AT A SKYLIGHT OR HIP), PROVIDE (2) 1 AT THE TOP OF THE RAFTER AT THE HEADER TO ALLOW FOR CONTINUOUS THRU-VENTING INTO THE NEXT JOIST SPACE UNLESS NOTED OTHERWISE.

-FLOORS: INSULATED WITH R-30 BATT INSULATION OVER UNHEATED SPACE UNLESS NOTED OTHERWISE. -SLAB-ON-GRADE: PROVIDE EXTRUDED RIGID CLOSED CELL R-10 INSULATION. INSULATION TO PROVIDE THERMAL BREAK BETWEEN SLAB AND FOOTING AND RUN FROM THE TOP OF THE S BOTTOM OF THE FOOTING. INSULATION MAY BE INTERRUPTED FOR 6" EVERY 2'-0" TO ALLOW FOR DOWELING TO TIE SLAB AND FOOTING TOGETHER. UNLESS NOTED OTHERWISE.

10. GARAGE SEPARATION: -REQUIRES 1/2" GWB ON THE GARAGE SIDE. 5/8" TYPE X' GWB WHERE THERE IS LIVING SPACE ABOVE. SUPPORTING COLUMNS, WALLS AND BEAMS USE 1/2" GWB PER IRC R302.6 -OPENINGS INTO A GARAGE: OPENINGS INTO A GARAGE SHALL HAVE A SOLID WOOD OR HONEYCOMB-CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE RATING. DOO EQUIPPED WITH A SELF-CLOSING DEVICE PER IRC R302.5.1.

11. VAPOR BARRIERS: -AN APPROVED VAPOR BARRIER SHALL BE INSTALLED AT EXTERIOR WALLS AND AT ALL ROOF DECKS, BELOW ENCLOSED JOIST SPACES WHERE CEILING FINISHES ARE DIRECTLY INSTA AND ANY OTHER WALL OR CEILING SURFACES WHICH RECEIVE INSULATION. THIS VAPOR BARRIER MAY BE A COMPONENT OF THE INSULATION MATERIAL. APPLICATION AND INSTALLATIO AND VAPOR BARRIERS SHALL COMPLY WITH STATE OF WASHINGTON THERMAL INSULATION STANDARDS.

12. FIRE SAFETY: -SMOKE ALARMS/DETECTORS (S.D.): SMOKE ALARMS/DETECTORS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, IN THE AREA OUTSIDE THE SLEEPING ROOM AND IN OTHER LOCATION: POWER SOURCE AND INTERCONNECTION PER IRC.

-CARBON MONOXIDE DETECTORS (C.M.D.): SHALL HAVE AN APPROVED CARBON MONOXIDE ALARM INSTALLED OUTSIDE OF EACH SLEEPING AREA IN DWELLING UNITS AND IN EACH LEVEL I WITH THE MANUFACTURER'S REQUIREMENTS PER IRC315. SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL2034 AND SHALL BE INSTALLED IN A THIS CODE, NFPA 720-2012 AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

-CARBON MONOXIDE DETECTION SYSTEMS PER IRC 315.2 THAT INCLUDE CARBON MONOXIDE DETECTORS AND AUDIBLE NOTIFICATION APPLIANCES, INSTALLED AND MAINTAINED IN ACCO SECTION FOR CARBON MONOXIDE ALARMS AND NFPA 720-2012, SHALL BE PERMITTED. THE CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH UL 2075. WHERE A CARBON MONOXIDE DETECTION SYSTEM IS INSTALLED, IT SHALL BECOME A PERMANENT FIXTURE OF THE OCCUPANCY.

13. <u>CERTIFICATE & TESTING</u>

- A PERMANENT CERTIFICATE SHALL BE COMPLETED AND POSTED ON OR WITHIN THREE FEET OF THE ELECTRICAL DISTRIBUTION PANEL BY THE BUILDER OR REGISTERED DESIGN PROFESSIONAL AND SHALL NOT COVER OR OBSTRUCT THE VISIBILITY OF THE CIRCUIT DIRECTORY LABEL, DISCONNECT LABEL, OR OTHER REQUIRED LABELS. THE CERTIFICATE SHALL LIST THE PREDOMINANT R-VALUES OF INSULATION INSTALLED IN OR ON CEILING/ROOF WALLS, FOUNDATION (GRADE WALL, AND/OR FLOOR) AND DUCTS OUTSIDE CONDITIONED SPACES; U-FACTORS FOR FENESTRATION AND THE RESULTS FROM ANY REQUIRED DUCT SYSTEM AND BUILDING ENVI TESTING DONE ON THE BUILDING. WHERE THERE IS MORE THAN ONE VALUE FOR EACH COMPONENT, THE CERTIFICATE SHALL LIST THE VALUE COVERING THE LARGEST AREA. THE CERTRI THE TYPES OF EFFICIENCIES OF HEATING, COULING, AND SERVICE WATER HEATING EQUIPMENT.

- THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED V DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). WHERE REQUIRED BY THE CODE OFFICIAL, TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPO OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. TESTING SHALL BE PERFORMED AT ANY TIME AFTER CREATION OF ALL P THE BUILDING THERMAL ENVELOPE.

14. <u>FIRE SPRINKLERS</u>

- INSTALL FIRE SPRINKLER SYSTEM TO ALL AREAS OF DWELLING UNIT. DESIGN TO BE PROVIDED BY OTHERS.

- SPRINKLERS SHALL BE LISTED RESIDENTIAL SPRINKLERS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE SPRINKLER MANUFACTURER'S INSTALLATION INSTRUCTIONS. - THE SPRINKLER SYSTEM SHALL BE DESIGNED BY A WASHINGTON STATE CERTIFIED SPRINKLER DESIGNER AND INSTALLED IN ACCORDANCE WITH THE NATIONAL FIRE PROTECTION STANDARD (NFPA) 13R WITH THE FOLLOWING ADDITIONS AND MODIFICATIONS:

-A 11/2" MINIMUM WATER METER AND 2" MINIMUM SERVICE LINE IS REQUIRED FOR ALL 13R PLUS SPRINKLER SYSTEMS THIS IS HTE MINIMUM REQUIREMENT AND THE SPRINKLER CALCULATIONS FOR THE PROJECT SHALL DETERMINE THE ACTUAL METER AND SERVICE LINE SIZE. THE PLUMBING CODE MAY STILL REQUIRE A LARGER SIZE. A WATER METER PERMIT WILL NOT BE ISSUED UNTIL THE SPRINLER PERMIT IS APPROVED.

-A 11/2" MINIMUM BACKFLOW PREVENTER AND RISER IS REQUIRED -A 11/2" HOSE CONNECTION IS REQUIRED IN A VISIBLE LOCATION BESIDE THE GARAGE DOOR. THE CHECK VALVE SHALL REMAIN ACCESSIBLE FOR SERVICE. THE FDC PIPE RUN SHAL

MINIMUM OF 1 1/2" AND SHALL MAINTAIN THAT SIZE ALL HTE WAY TO THE RISER. -THE SPRINKLER SYSTEM SHALL HAVE INSTALLED A MEANS OF NOTIFICATION OF A WATER FLOW EVENT. INTERIOR: YOU MAY CONNECT THE WATER FLOW SWITCH TO THE SOUNDER SIDE OF THE LINE VOLTAGE SMOKE ALARMS. FIREX SMOKE DETECTORS USE PART # 0498 AND KIDDE WITH RELAY/POWER SUPPLY MODULE SM120X ARE CURRENTLY APPROVED FOR THIS PURPOSE. IF YOU CANNOT INTERFACE TEH WATER FLOW SWITCH TO SMOKE ALARMS THEN A SEPARATE HORN, BELL, OR SIREN, IS REQUIRED TO BE LOCATED CENTRALLY ON EACH LEVEL INCLUDING THE BASEMENT OR LOWEST LEVEL OF THE STRUCTURE FOR OCCUPANT WATER FLOW NOTIFICATION.

EXTERIOR: AN EXTERIOR GRADE 8" POTTER BELL OR EQUIVALENT SHALL BE INSTALLED. THIS SHALL BE ABOVE THE FDC. -FULL COVERAGE OF ATTACHED GARAGES IS REQUIRED. IT IS EXPECTED THAT ALL HEADS WILL OPERATE IN THE EVENT OF A CAR FIRE WITHIN THE GARAGE AND THE SYSTEM SHALL BE DESIGNED TO PROVIDE ADEQUATE FLOW. ANY GARAGES WITH MORE THAN 4 HEADS IN THEM NEED TO BE PIPED IN A MANNER THAT A LARGER FLOW IS AVAILABLE FLOAD WOULD BE NORMALLY DESIGNED AND 1100 FEED CHALL BE REQUIRED FROM THE PIGER FLOW AND THE PIGER THAN 4 WITHIN THE CARACE

AVAILABLE THAN WOULD BE NORMALLY DESIGNED. AN 1 1/2" FEED SHALL BE PROVIDED FROM THE RISER TO ANY HEADS GREATER THAN 4 WITHIN THE GARAGE. -THE SYSTEM DRAIN SHALL BE PIPED ALL THE WAY TO THE EXTERIOR OF THE BUILDING NAD NOT CAUSE DAMAGE TO LANDSCAPING WHILE WATER IS FLOWING. HOSE CONNECTIONS ARE NOT ALLOWED -A CABINET CONTAINING A MINIMUM OF TWO SPARE HEADS OF EACH TYPE AND A SPRINKLER WRENCH SHALL BE PROVIDED

-ANY CRAWLSPACE THAT HAS A CONCRETE FLOOR AND A FULL SIZEDOOR SHALL BE PRESUMED TO BE A FUTURE STORAGE ROOM AND SPRINLKER COVERAGE SHALL BE PROVIDED. -ALL BATHROOMS REGARDLESS OF SIZE SHALL BE COVERED

-ALL CLOSETS IN COMMON AREAS OR EGRESS PATHWAYS SHALL BE COVERED

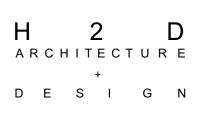
-WATER FLOW MONITERING BY A CENTRAL STATION IS REQUIRED -ANY COVERED PORCH WITH A NATURAL GAS OUTLET IS REQUIRED TO HAVE SIDEWALL SPRINKLER COVERAGE USING AN INTERMEDIATE TEMPERATURE SPRINKLER HEAD.

| 2018 BY H2D, LLC. RGY CODE AND NS OR PERFORMANCE NUFACTURING, | | PROJECT OWNER: PROJECT ARCHITECT: PROJECT DESIGNER: | F 7 | ROBERT AND DONNA 1 7653 W MERCER WAY | ſ | |
|--|---|---|---|--|--|---|
| NS OR PERFORMANCE | | | N | | 00010 | |
| | | TRUJECT DEGIGNER. | L F 2 E | MERCER ISLAND WA HEIDI HELGESON H2D ARCHITECTURE + 23020 EDMONDS WA EDMONDS, WA 98020 | DESIGN Y, #113 | |
| NUFACTURING, | | STRUCTURAL ENGINEE | ER: E L 1' V | 206.542.3734 3RIAN LOSHBOUGH, P .2 ENGINEERS, LLC 7848 NE 198TH PLAC VOODINVILLE, WA 980 | Æ | |
| | | PROJECT DESCRIPTION | | 206.251.2346 NTERIOR REMODEL; C | ARPORT ENCLOSURE; | ; 144.6 SF |
| T CLEAR AND CLEAN | | PROJECT ADDRESS: | | ADDITION; 125 SF DEC 1653 W MERCER WAY | | |
| OF THE CONTRACTOR. | | TAX LOT NUMBER: | | 786000080 | | |
| ATURAL SOIL OR F LOOSE SOILS, | | LEGAL DESCRIPTION: | | 6HUCK PARK ADD UN PLAT LOT 8; SW-25-2 | D INT IN COMMNITY PH 4-4 | < & PRIVATE RD; |
| NT OF THE REQUIRED LANCE OF THE | | LAND USE C | ODE | COMPLIANC | E STATISTI | CS |
| AND INSULATED TO A | | <u>ZONE</u> : <u>CRITICAL AREAS:</u> <u>REQ'D SETBACKS</u> : | R-15 STEEP S FRONT: REAR SE SIDE SE | ETBACK: | | ARD, SEISMIC HAZARD 20' 25' BINED WIDTH OF 23.3' |
| | | PARKING: | 3 PARKI | NG SPACES REQUIRE | ED; 2 COVERED, 1 UNCO | OVERED |
| SHOWER DOORS AND | | BUILDING HEIGHT INFORMATION: | REFER T | G HEIGHT LIMIT = 30' O SHEET A2.0 AND A NFORMATION | 2.1 FOR DETAILED | |
| | - | **REFER TO SHEET 02 | | | _ | |
| CLEAR OPENING WIDTH | Ę | ENERGY CREDIT FROM | EDIT I | | NC | |
| S BEFORE | Ş | | | | | #1 OR #3 3.5 CREDITS UMPS, ZONAL CONTROL. |
| ERTIFICATE. | Ę | HIGH EFFICIENCY HVAC COMPONENTS INSTALL | DISTRIBU | TION SYSTEM 4: ALL | =1.0 HEATING AND COOLIN PACE. | CREDITS |
| NG SYSTEM ON A SCHEDULE | | EFFICIENT WATER HEA RHEEM HIGH EFFICIENC RECIRCULATION PUMP, | CY 11.0GPM | 1 INDOOR NATURAL G | AS TANKLESS WATE IR APPROVED BETTER | R HEATER WITH 3) © CREDITS |
| BOVE ADJACENT | \sim | SHEET INDE | | m | mm | |
| RE PER IRC 312.1. | | | | N, VICINITY MAP, GEN | IERAL NOTES, AS-BUII | LT PLANS |
| 01. WISE. LAB AND BASEMENT | | SURVSURVEY03IMPERVIOUSA1.0DEMOLITIONA1.1DEMOLITIONA1.2LOWER FLOODA1.3MAIN FLOORA1.4CLERESTOR | PLAN LOW PLAN MAI OR PLAN PLAN | | LANS | |
|) 1 1/2" VENTING HOLES | | A1.5 ROOF PLAN A1.6 WINDOW AND A2.0 EXTERIOR EL | DOOR SC | | | |
| E SLAB TO THE | | A2.0 EATERIOR EL A2.1 EXTERIOR EL A3.0 BUILDING SE A3.1 BUILDING SE A4.0 WALL SECTION | EVATIONS ECTIONS ECTIONS | | | |
| OORS SHALL BE | | A4.1WALL SECTIONA4.2TYPICAL DES100GENERAL STS101GENERAL ST | TAILS TRUCTURA TRUCTURA | L NOTES | | |
| ALLED TO JOISTS, IONS OF INSULATION | | S102GENERAL STS200FOUNDATIONS201MAIN FLOORS202ROOF FRAMIS203CLERESTOP | N PLAN FRAMING ING PLAN | PLAN | | |
| DNS PER IRC R314. | | S300 STRUCTURA S301 STRUCTURA | L FOUNDA | CAMING PLAN TION DETAILS OOR DETAILS | | |
| L IN ACCORDANCE ACCORDANCE WITH | | S302 STRUCTURA S303 STRUCTURA | | | | |
| ORDANCE WITH THIS A HOUSEHOLD | | PRESCRIPTI | /E RE | QUIREMEN | TS - ALL CLIMATE 2 | ZONES |
| FESSIONAL. THE | | LOCATION FENESTRATION U-FACTOR | > | R-VALUE | U-FACTOR | |
| L, SERVICE I (SLAB, BELOW- WELOPE AIR LEAKAGE RIFICATE SHALL LIST | | SKYLIGHT U-FACTOR GLAZED FENESTRATION S | | N/A N/A | 0.50 0.50 N/A | |
| WITH A BLOWER | | CEILING WOOD FRAME WALL | | 49/38 21 INT | 0.026 0.056 | |
| ORT OF THE RESULTS PENETRATIONS OF | | MASS WALL R-VALUE | | 21/21 | 0.056 | |
| | | FLOOR BELOW GRADE WALL | | 30/38 10/15/21 INT + 1 | 0.029 FB 0.042 | |
| | | SLAB R-VALUE AND DEPT | Ή | 10, 2 FT | N/A | |
| | $\left \begin{array}{c} & & \\ & $ | | | 4 | | |
| IALL BE A | | S | E 76TH ST | WERCER TEXT | ET T | SE 75TH PL |
| | | | W SHILL | R | TOGECREST LN | H AVE SE |

PEHA RESIDENC 7653 W MERCER WAN MERCER ISLAND WA 98







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/26/2018

PERMIT SET

PROJECT INFORMATION, VICINITY MAP, GENERAL NOTES, AS-BUILT PLANS

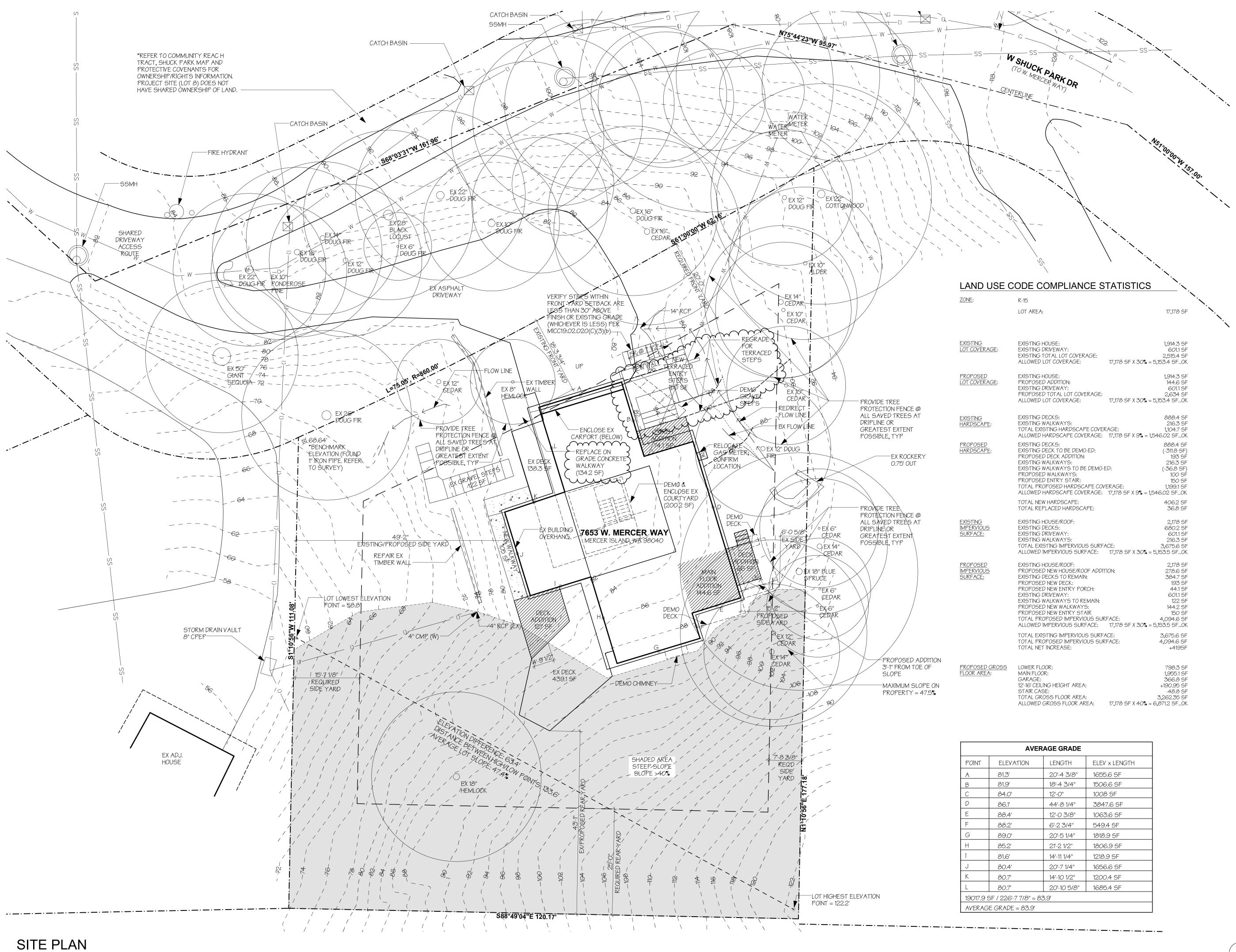
SE 78TH ST SE 78TH ST



VICINITY MAP (NTS)

I AKE WASHINGTON

SITE



SCALE: 1" = 10'

| EXISTING HOUSE: EXISTING DRIVEWAY: EXISTING TOTAL LOT COVERAGE: ALLOWED LOT COVERAGE: | 17,178 SF X 30% = 5,15 | 1,914.3 SF 601.1 SF 2,515.4 SF 53.4 SF0K |
|---|--|--|
| EXISTING HOUSE: PROPOSED ADDITION: EXISTING DRIVEWAY: PROPOSED TOTAL LOT COVERAGE: ALLOWED LOT COVERAGE: | 17,178 SF X 30% = 5,15 | 1,914.3 SF 144.6 SF 601.1 SF 2,634 SF 53.4 SF0K |
| EXISTING DECKS: EXISTING WALKWAYS: TOTAL EXISTING HARDSCAPE COVER ALLOWED HARDSCAPE COVERAGE: EXISTING DECKS: EXISTING DECK TO BE DEMO-ED: PROPOSED DECK ADDITION: EXISTING WALKWAYS: EXISTING WALKWAYS: PROPOSED WALKWAYS: PROPOSED ENTRY STAIR: TOTAL PROPOSED HARDSCAPE COVE ALLOWED HARDSCAPE COVERAGE: | 17,178 SF X 9 % = 1,546 D: ERAGE: | 888.4 SF (-311.8 SF) 193 SF 216.3 SF (-36.8 SF) 100 SF 150 SF 1,199.1 SF 5.02 SF0K |
| TOTAL NEW HARDSCAPE: TOTAL REPLACED HARDSCAPE: | | 406.2 SF 36.8 SF |
| EXISTING HOUSE/ROOF: EXISTING DECKS: EXISTING DRIVEWAY: EXISTING WALKWAYS: TOTAL EXISTING IMPERVIOUS SURFA ALLOWED IMPERVIOUS SURFACE: | | 2,178 SF 680.2 SF 601.1 SF 216.3 SF 3,675.6 SF 53.5 SF0K |
| EXISTING HOUSE/ROOF: PROPOSED NEW HOUSE/ROOF ADDIT EXISTING DECKS TO REMAIN: PROPOSED NEW DECK: PROPOSED NEW ENTRY PORCH: EXISTING DRIVEWAY: EXISTING WALKWAYS TO REMAIN: PROPOSED NEW WALKWAYS: PROPOSED NEW ENTRY STAIR TOTAL PROPOSED IMPERVIOUS SURFACE: | FACE: | 2,178 SF 278.6 SF 384.7 SF 193 SF 44.1 SF 601.1 SF 122 SF 144.2 SF 150 SF 4,094.6 SF 53.5 SF0K |
| TOTAL EXISTING IMPERVIOUS SURFA TOTAL PROPOSED IMPERVIOUS SURI TOTAL NET INCREASE: | | 3,675.6 SF 4,094.6 SF +419SF |
| LOWER FLOOR: MAIN FLOOR: GARAGE: 12'-16' CEILING HEIGHT AREA: STAIR CASE: | | 798.3 SF 1,955.1 SF 366.8 SF +190.95 SF -48.8 SF |

| UNINNUL. | 000.0 01 |
|------------------------------|--------------------------------|
| 12'-16' CEILING HEIGHT AREA: | +190.95 SF |
| STAIR CASE: | -48.8 SF |
| TOTAL GROSS FLOOR AREA: | 3,262.35 SF |
| ALLOWED GROSS FLOOR AREA: | 17,178 SF X 40% = 6,871.2 SFOK |
| | |

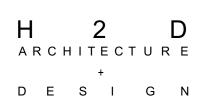
| RAGE GRADE | |
|--------------|---|
| LENGTH | ELEV X LENGTH |
| 20'-4 3/8" | 1655.6 SF |
| 18'-4 3/4" | 1506.6 SF |
| 12'-0" | 1008 SF |
| 44'-8 1/4" | 3847.6 SF |
| 12'-0 3/8'' | 1063.6 SF |
| 6'-2 3/4" | 549.4 SF |
| 20'-5 1/4" | 1818.9 SF |
| 21'-2 1/2" | 1806.9 SF |
| 14'-11 1/4" | 1218.9 SF |
| 20'-7 1/4" | 1656.6 SF |
| 14'-10 1/2" | 1200.4 SF |
| 20'-10 5/8'' | 1685.4 SF |
| 3.9' | |
| | |
| | 20'-4 3/8" 18'-4 3/4" 12'-0" 44'-8 1/4" 12'-0 3/8" 6'-2 3/4" 20'-5 1/4" 21'-2 1/2" 14'-11 1/4" 20'-7 1/4" 14'-10 1/2" |

Ν ____`

98040 SIDENCE WAY MA MERCER AND ШК ISL 3 MERCER PEHA 653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

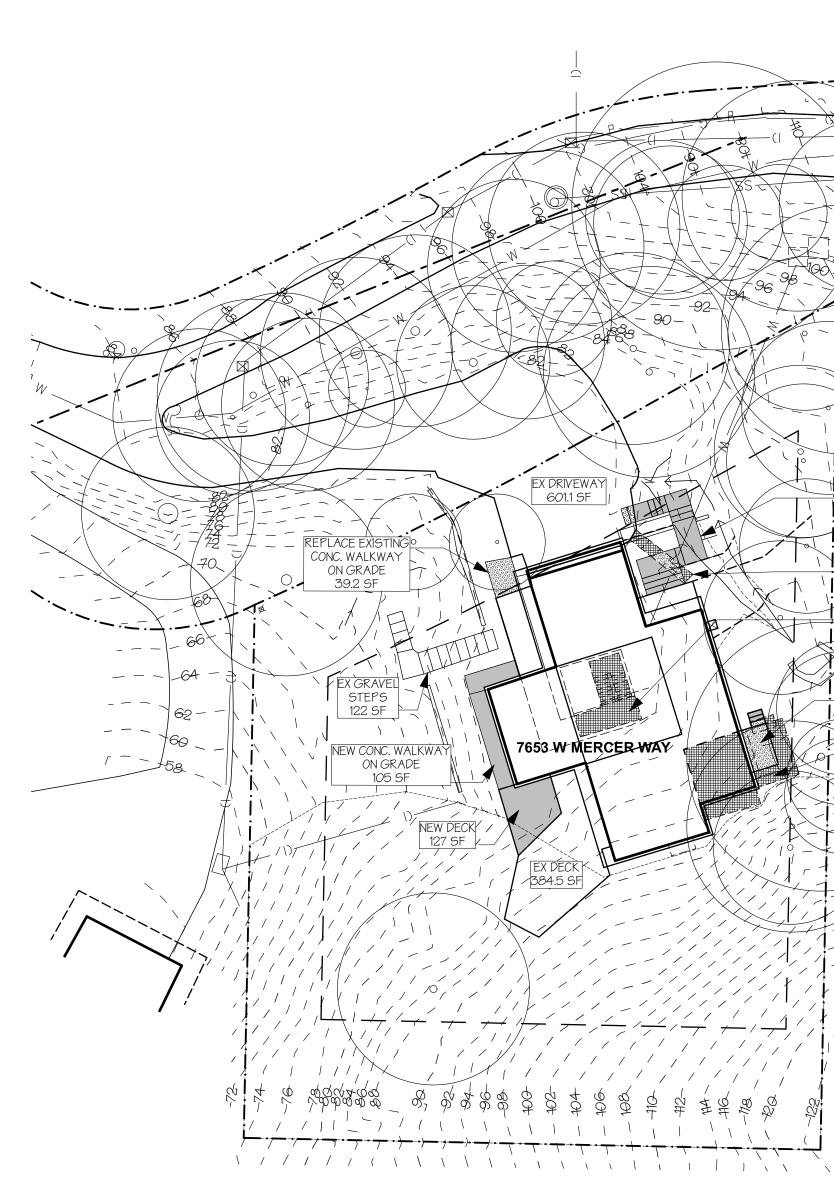
> DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

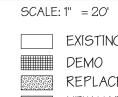
SITE PLAN



02



SITE PLAN - HARDSCAPE

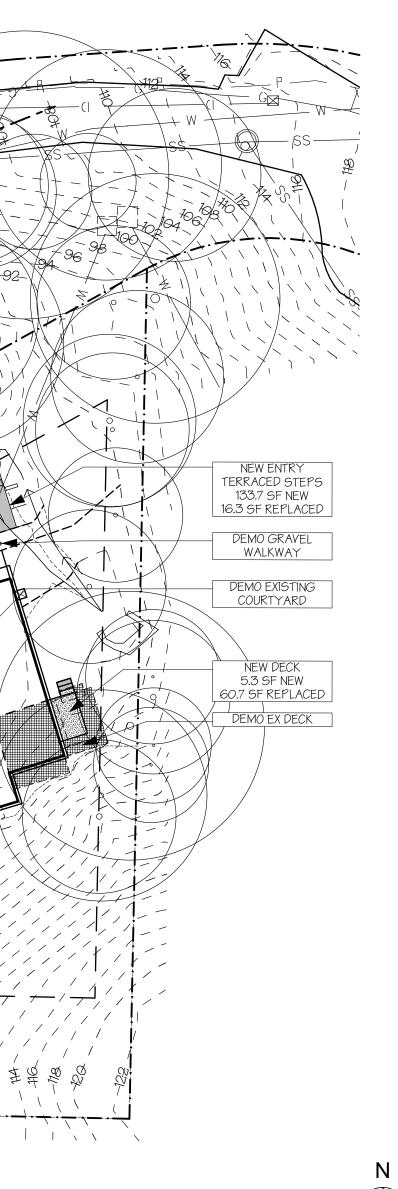


EXISTING TO REMAIN

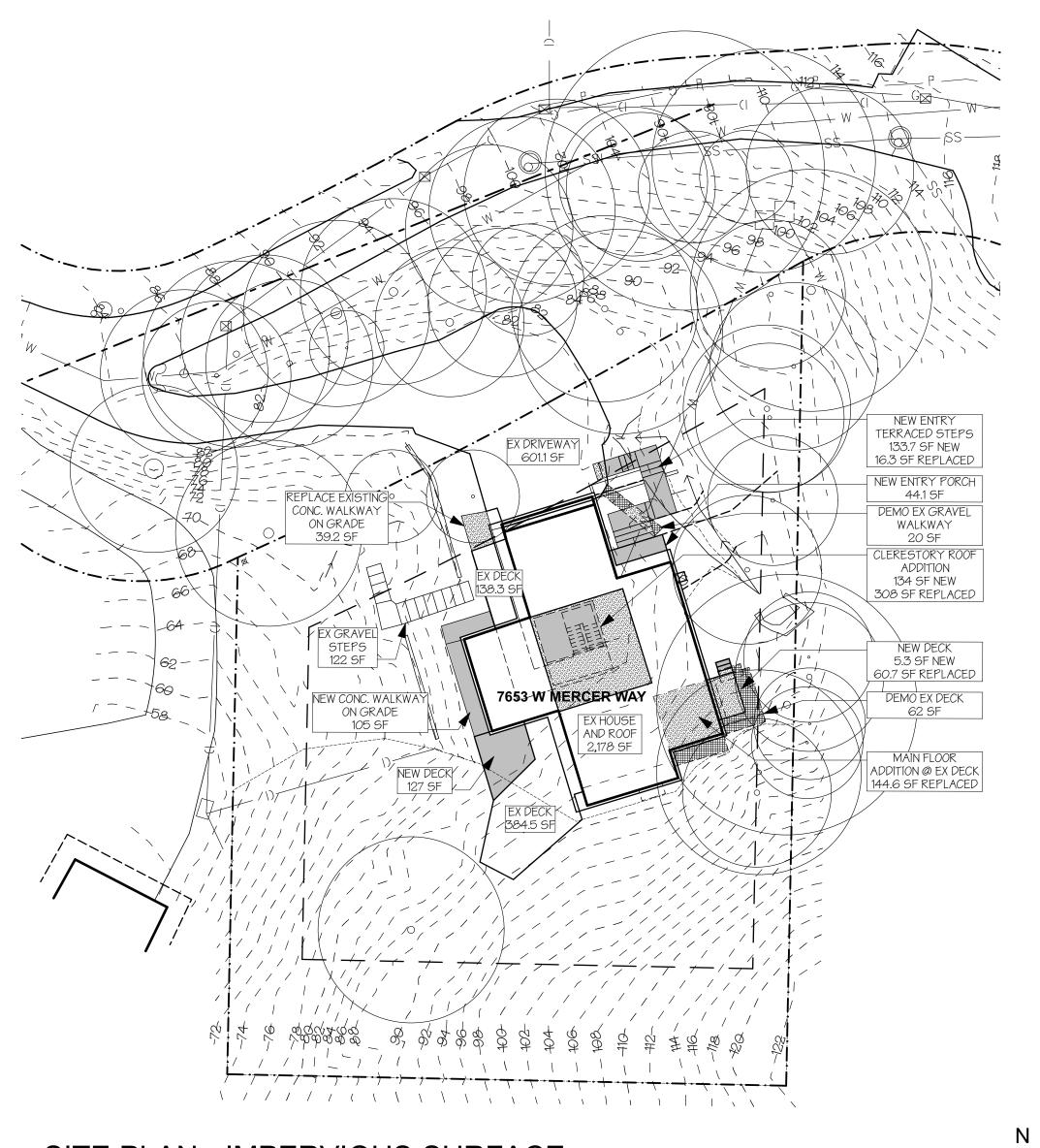
REPLACED HARD SURFACE NEW HARD SURFACE

<u>EXISTING</u> HARDSCAPE:

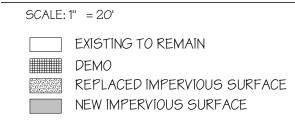
<u>PROPOSED</u> HARDSCAPE:



| EXISTING DECKS:888.4 SFEXISTING WALKWAYS:216.3 SFTOTAL EXISTING HARDSCAPE COVERAGE:1,104.7 SFALLOWED HARDSCAPE COVERAGE:17,178 SF X 9% = 1,546.02 SFOK | |
|---|--|
| EXISTING DECKS:888.4 SFEXISTING DECK TO BE DEMO-ED:(-311.8 SF)PROPOSED DECK ADDITION:193 SFEXISTING WALKWAYS:216.3 SFEXISTING WALKWAYS TO BE DEMO-ED:(-36.8 SF)PROPOSED WALKWAYS:100 SFPROPOSED ENTRY STAIR:150 SFTOTAL PROPOSED HARDSCAPE COVERAGE:1,199.1 SFALLOWED HARDSCAPE COVERAGE:17,178 SF X 9% = 1,546.02 SFOK | |
| TOTAL NEW HARDSCAPE:406.2 SFTOTAL REPLACED HARDSCAPE:36.8 SF | |



SITE PLAN - IMPERVIOUS SURFACE



EXISTING IMPERVIOUS SURFACE:

<u>PROPOSED</u> IMPERVIOUS SURFACE:

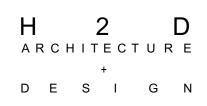
| EXISTING HOUSE/ROOF: | 2,178 SF |
|--|--|
| EXISTING DECKS: | 680.2 SF |
| EXISTING DRIVEWAY: | 601.1 SF |
| EXISTING WALKWAYS: | 216.3 SF |
| TOTAL EXISTING IMPERVIOUS SURFACE: | 3,675.6 SF |
| ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30 | 0% = 5,153.5 SF0K |
| EXISTING HOUSE/ROOF: PROPOSED NEW HOUSE/ROOF ADDITION: EXISTING DECKS TO REMAIN: PROPOSED NEW DECK: PROPOSED NEW ENTRY PORCH: EXISTING DRIVEWAY: EXISTING WALKWAYS TO REMAIN: PROPOSED NEW WALKWAYS: PROPOSED NEW ENTRY STAIR TOTAL PROPOSED IMPERVIOUS SURFACE: ALLOWED IMPERVIOUS SURFACE: 17,178 SF X 30 | 2,178 SF 278.6 SF 384.7 SF 193 SF 44.1 SF 601.1 SF 122 SF 144.2 SF 150 SF 4,094.6 SF 2% = 5,153.5 SF0K |
| TOTAL EXISTING IMPERVIOUS SURFACE: | 3,675.6 SF |
| TOTAL PROPOSED IMPERVIOUS SURFACE: | 4,094.6 SF |
| TOTAL NET INCREASE: | +419SF |

 \frown

98040 RESIDENCE WAY MERCER ISLAND WA MERCER \geq PEHA 7653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

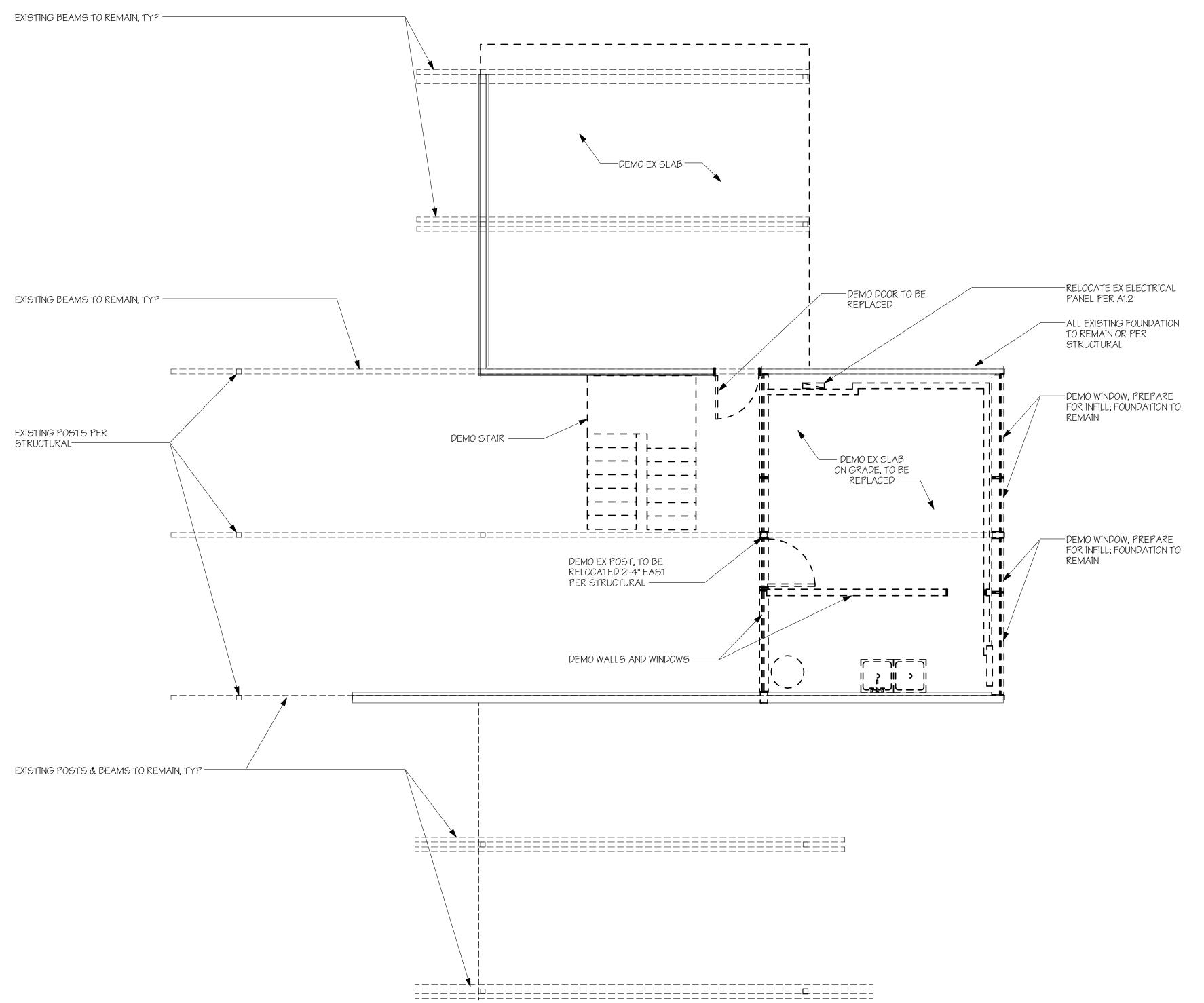
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

IMPERVIOUS SURFACE AND HARDSCAPE PLANS

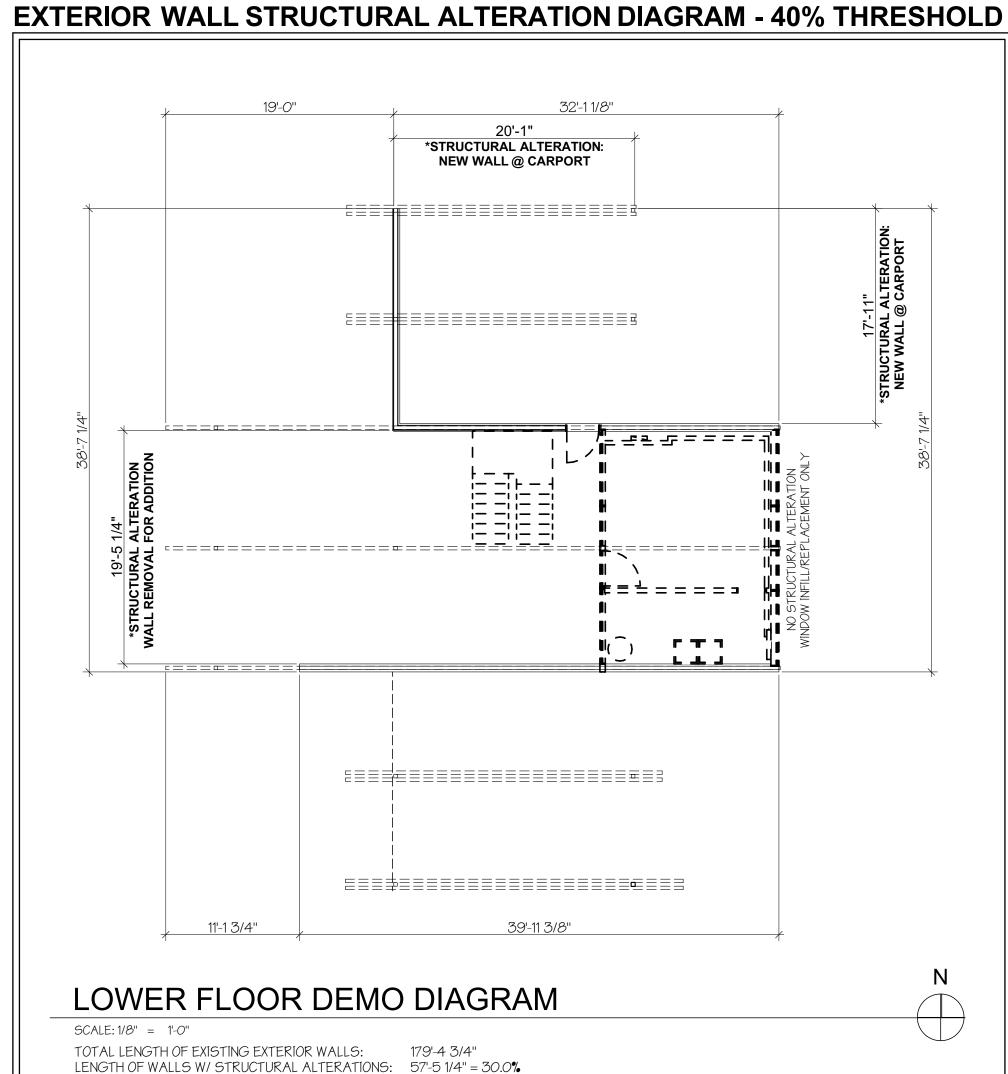


03



LOWER FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0" EXISTING WALLS



NOTES: 1. SALVAGE ALL INTERIOR AND EXTERIOR LIGHT FIXTURES 2. SALVAGE ALL INTERIOR WOOD PANELLING 3. VERIFY ALL SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION Ν

REGISTERED

ARCHITECT

HEIDI MICHELLE HELGESON STATE OF WASHINGTON

9804

MA

AND

MERCER ISL

WAY

RCER

Ш М

>

653

SIDENCE

Ц Ш

PEHA

9716

Н 2 D ARCHITECTUR E DESIGN

23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

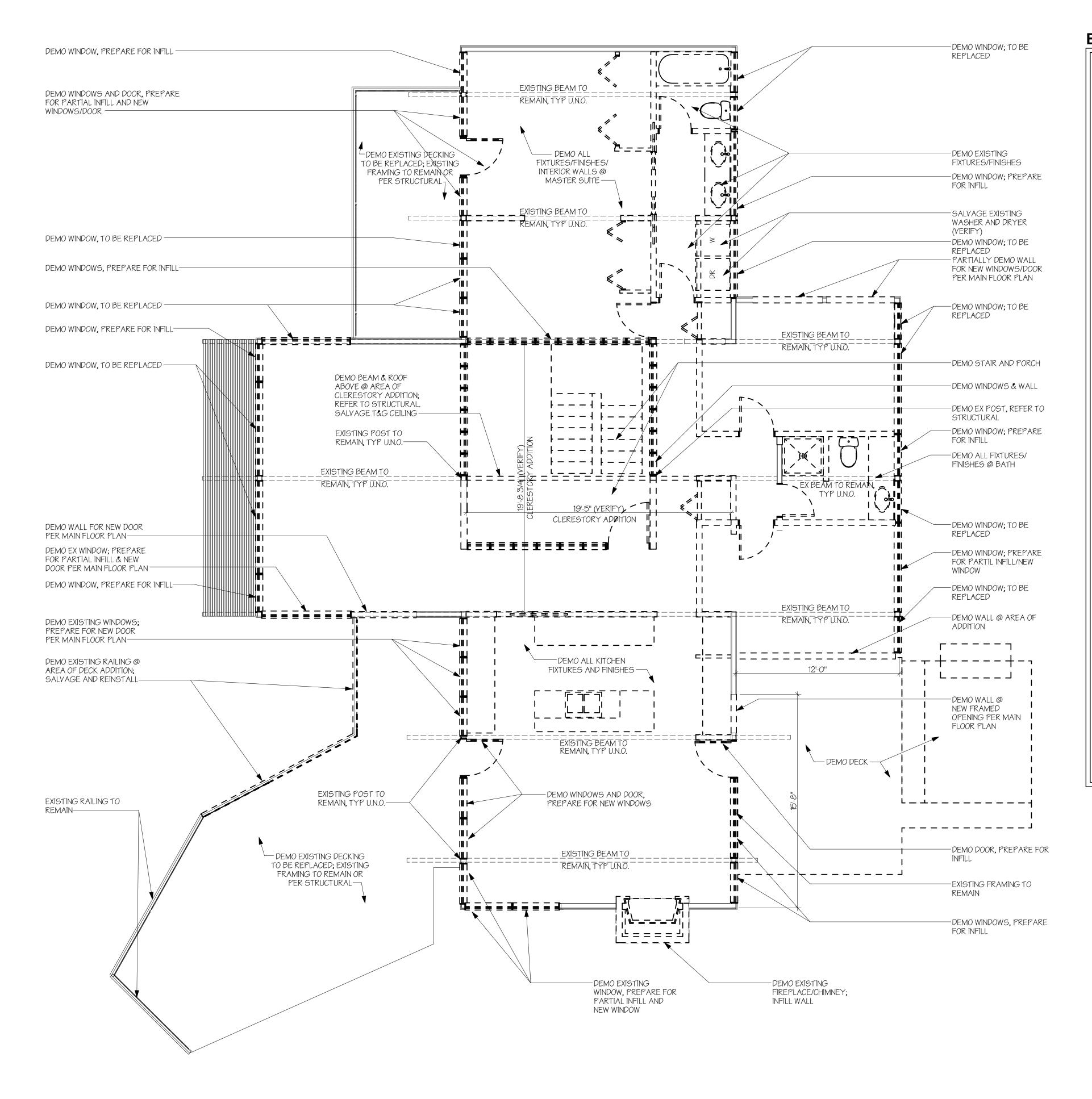
> DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

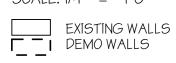
DEMOLITION PLAN LOWER FLOOR

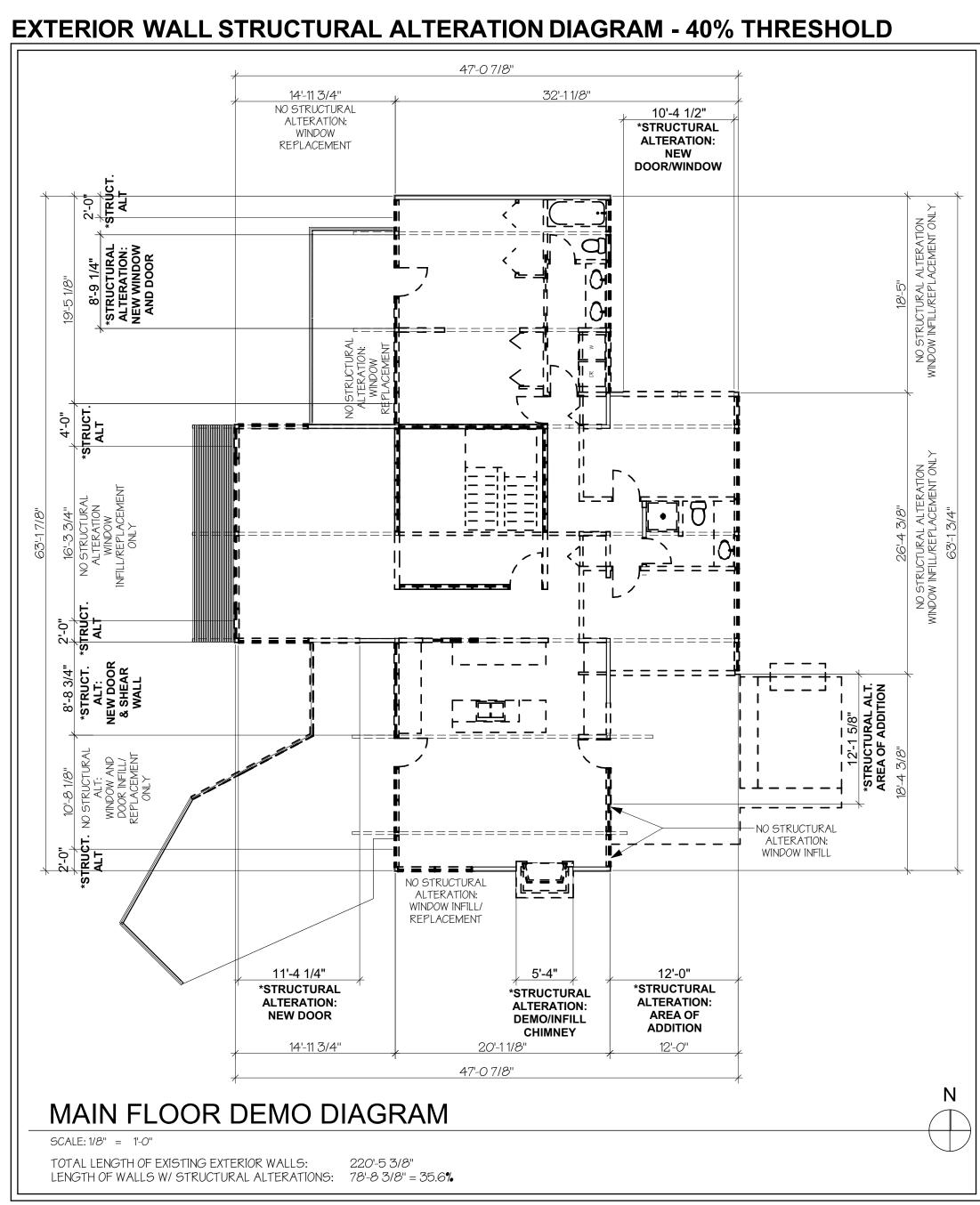


A1.0



MAIN FLOOR DEMO PLANSCALE: 1/4" = 1'-0"





NOTES: 1. SALVAGE ALL INTERIOR AND EXTERIOR LIGHT FIXTURES 2. SALVAGE ALL INTERIOR WOOD PANELLING 3. VERIFY ALL SALVAGE ITEMS WITH OWNER PRIOR TO DEMOLITION

Ν









23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/12/2018

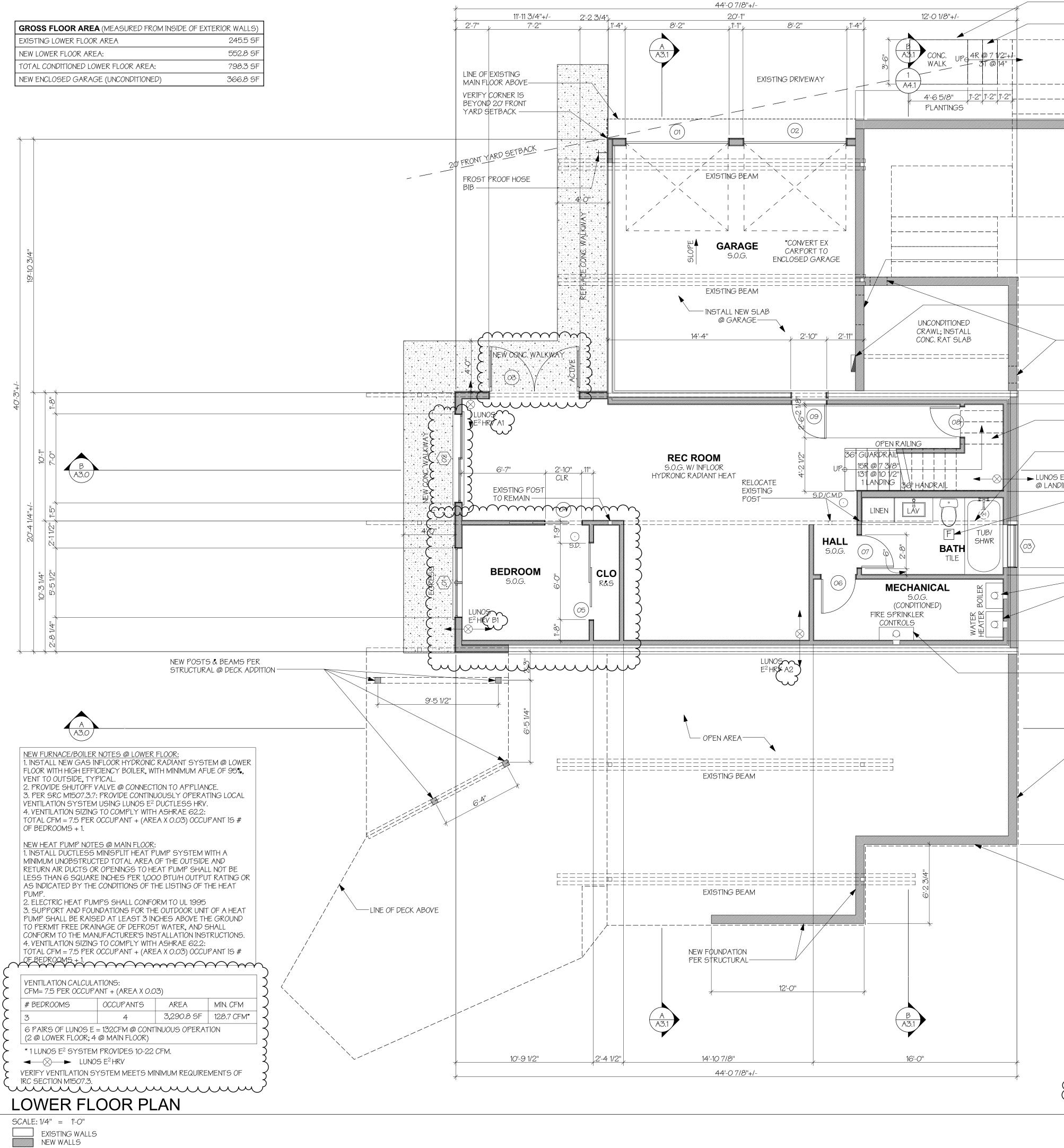
PERMIT SET

DEMOLITION PLAN MAIN FLOOR



A1.1

| GROSS FLOOR AREA (MEASURED FROM INSIDE OF E | EXTERIOR WALLS) |
|---|-----------------|
| EXISTING LOWER FLOOR AREA | 245.5 SF |
| NEW LOWER FLOOR AREA: | 552.8 SF |
| TOTAL CONDITIONED LOWER FLOOR AREA: | 798.3 SF |
| NEW ENCLOSED GARAGE (UNCONDITIONED) | 366.8 SF |

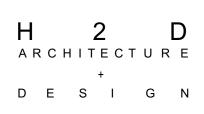


| · — | KEGRAVE AND INSTALL ON GRAVE CONCRETE STEPS & WALK VERIFY STEPS WITHIN FRONT YARD SETBACK ARE LESS THAN 30'' ABOVE FINISH OR EXISTING GRADE (WHICHEVER IS LESS); REFER TO A2.0 | | | |
|---|--|----------------------|--------------|------|
| | | | | |
| | | | \leftarrow | |
| | | | | |
| | | 12'-5" | | |
| | | | | |
| | | | | |
| | | | | |
| | | 8'-11 1/4" | | |
| | -1- 01/2" -/+ "- |] :) |) 1/2" | |
| | | | 42'-0 | |
| | DASHED LINE OF | 6'-10 1/2" | | |
| E^2 HRW DING B2 | A4.0 A3.0 | | _ | |
| | | , -+ | | |
| | 2.4 1/2" | 6'-6 3/4" | | |
| | n) آلاً المحافظة | | | |
| | | 5-2" | | |
| | | | ~ | |
| | CONFIRM LOCATION | | | |
| | | | | |
| | 1 A A4.0 A3.0 | | 1/2" | |
| | NEW FOUNDATION PER STRUCTURAL | | 14'-11 1/2" | |
| | | | | |
| | | | | |
| | | | - K | |
| GASWATER | | | | |
| 1. INSTALL NEU INDOOR NATURA RH11DVLN W/ O.S 2. PROVIDE SI 3. PER IRC M1 HORIZONTAL I SHALL BE AT APPLIANCES | W TANKLESS GAS WATER HEATER; RHEEM HIGH EFFICIENCY 11. AL GAS TANKLESS WATER HEATER WITH RECIRCULATION PUMP, #RT 94EF (OR APPROVED BETTER). HUTOFF VALVE @ CONNECTION TO APPLIANCE 1307.2 ANCHOR OR STRAP WATER HEATER APPLIANCE TO RI DISPLACEMENT CAUSED BY EARTHQUAKE MOTION. STRAPP POINTS WITHIN THE UPPER 1/3RD AND LOWER 1/3RD OF THE VERTICAL DIMENSIONS. AT THE LOWER POINT, THE STRAPP1 TAIN A MINIMUM DISTANCE OF 4" ABOVE CONTROLS. | rGH- ESIS 'ING | бТ | |
| NOTES: 1. ALL DIMENSIO 2. ALL DOOR AN 3. SEE ATTACH 4. INSTALL SMI INTERCONNECT | ONS ARE GIVEN TO THE FACE OF STUD UNO. ND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING HED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORM/ IOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWIRE A DETECTORS TO POWER SUPPLY AND PROVIDE BATTERY B | ATIO ND | N. | |
| AREA IN THE IM AS_COMPLYING | RBON MONOXIDE ALARMS (C.M.D.) OUTSIDE EACH SEPARATE 1MEDIATE VICINITY OF THE BEDROOMS. THE ALARM AND SH 3 WITH UL 2034 AND SHALL BE INSTALLED IN ACCORDANCE | ALL E | 3E LIS | STED |
| ► 6. UNDERCUT IN | MANUFAOTORER'S MISTALYAMON INSTRUCTIONS VVV NTERIOR DOORS MINIMUM 5/8" FOR AIR FLOW TO ALL HABITA | | r M SPA | CES. |
| | | | | |

SIDENCE MA RCER AND Ш М ШК ISL 3 MERCER PEHA 653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

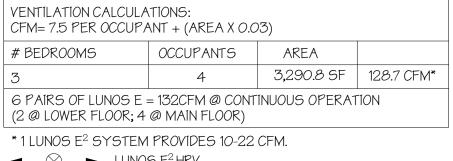
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

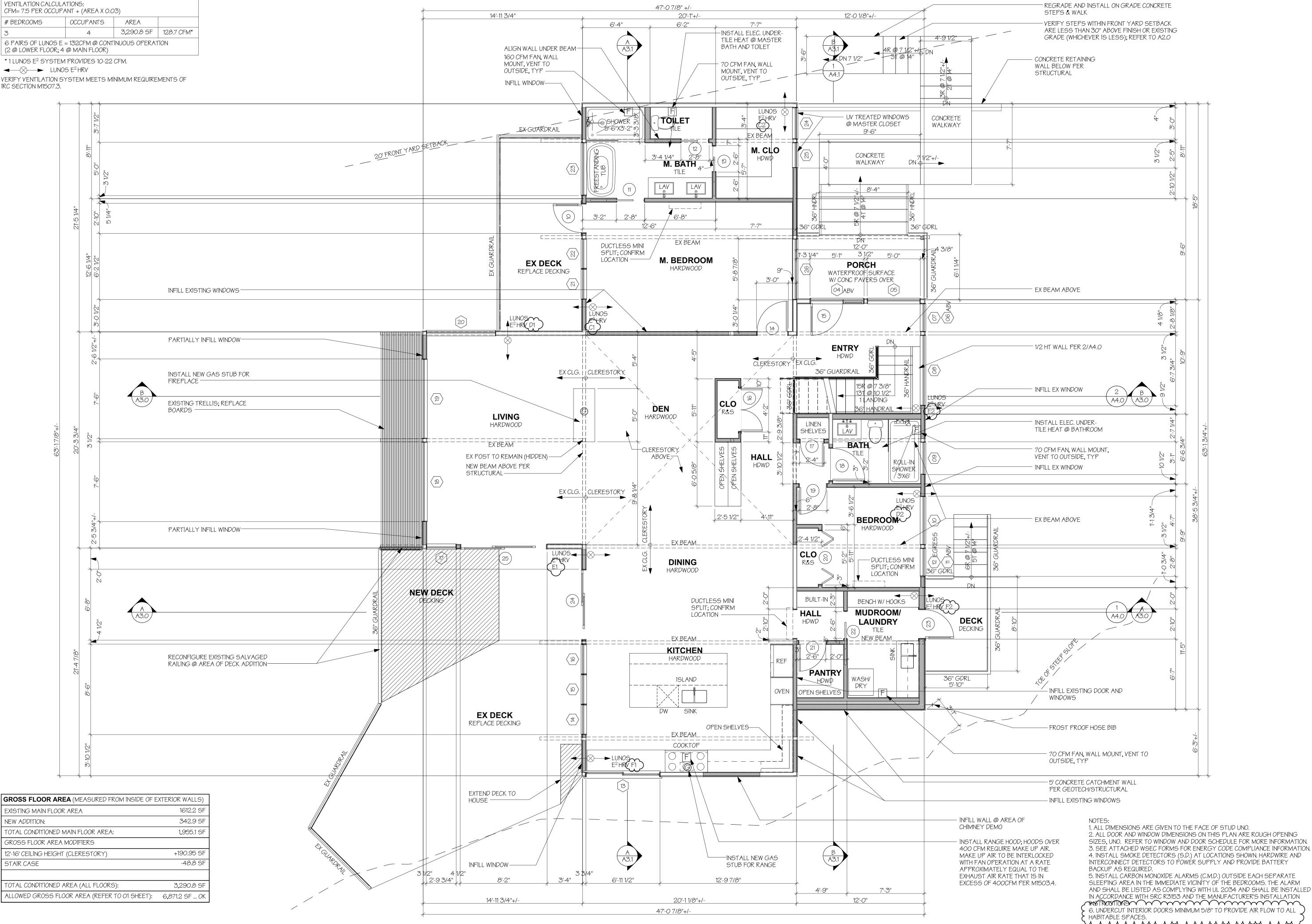
LOWER FLOOR PLAN



A1



VERIFY VENTILATION SYSTEM MEETS MINIMUM REQUIREMENTS OF IRC SECTION M1507.3.

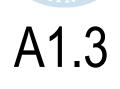


| NEW ADDITION: | 342.9 SF |
|---|------------------------|
| TOTAL CONDITIONED MAIN FLOOR AREA: | 1,955.1 SF |
| GROSS FLOOR AREA MODIFIERS | |
| 12'-16' CEILING HEIGHT (CLERESTORY) | +190.95 SF |
| STAIR CASE | -48.8 SF |
| | |
| TOTAL CONDITIONED AREA (ALL FLOORS): | 3,290.8 SF |
| ALLOWED GROSS FLOOR AREA (REFER TO OI SHEET): | 6 , 871.2 SF OK |

MAIN FLOOR PLAN

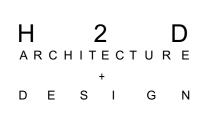
SCALE: 1/4'' = 1'-0''

vvvvvvvvvvvvvv



9804 SIDENCE WA. MA RCER AND Ш Ц Σ ISI MERCER PEHA 653

9716 REGISTERED ARCHITECT Herd M. Hel HEIDI MICHELLE HELGESON STATE OF WASHINGTON



23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

MAIN FLOOR PLAN

REVIEWED

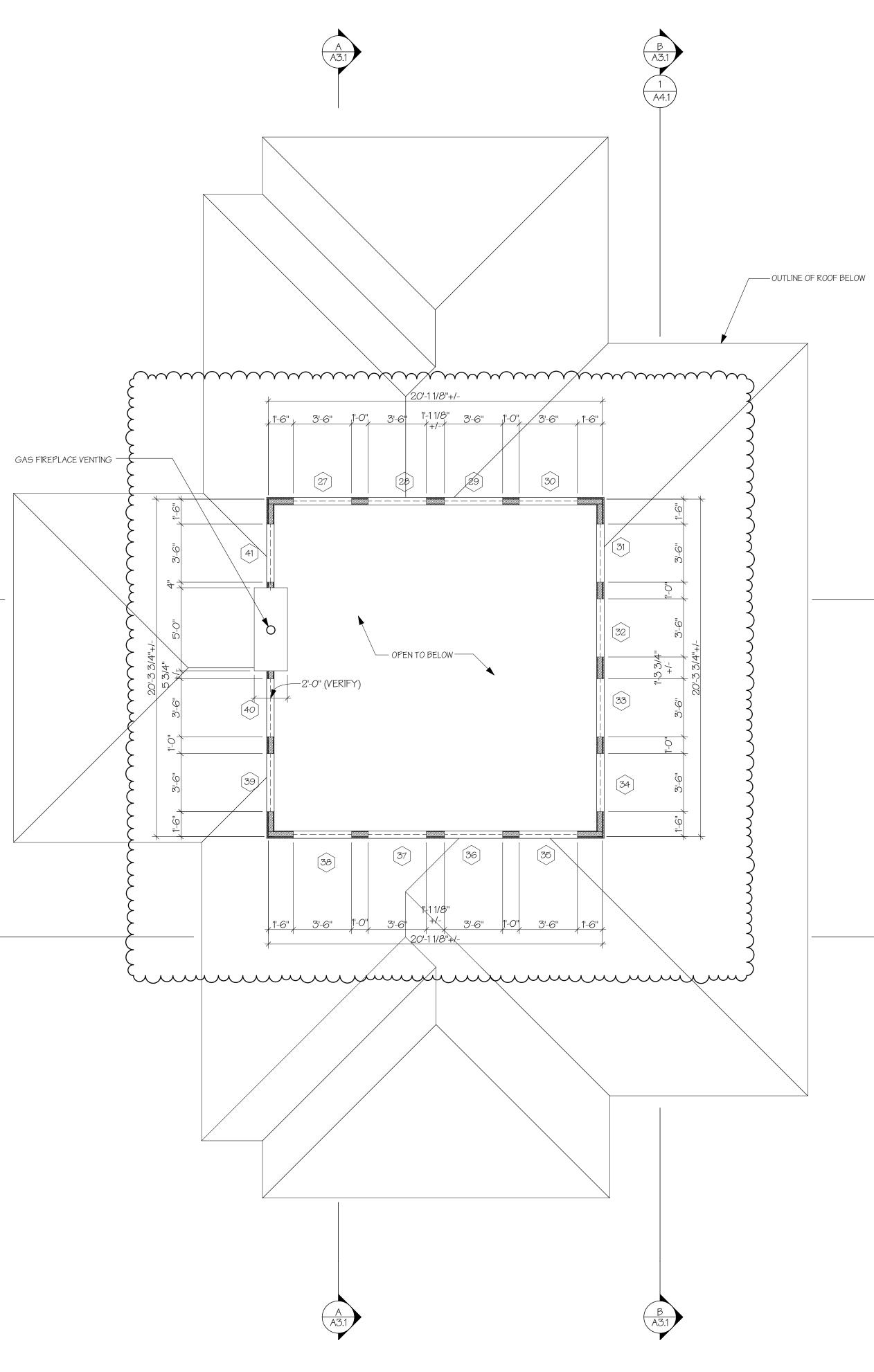
FOR CODE

COMPLIANCE

January 23, 2019

SITE COPY

2. ALL DOOR AND WINDOW DIMENSIONS ON THIS PLAN ARE ROUGH OPENING SIZES, UNO. REFER TO WINDOW AND DOOR SCHEDULE FOR MORE INFORMATION. 3. SEE ATTACHED WSEC FORMS FOR ENERGY CODE COMPLIANCE INFORMATION. 4. INSTALL SMOKE DETECTORS (S.D.) AT LOCATIONS SHOWN. HARDWIRE AND



CLERESTORY PLAN

SCALE: 1/4" = 1'-0" EXISTING WALLS NEW WALLS

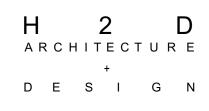
B A3.0

A A3.0









23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

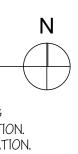
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

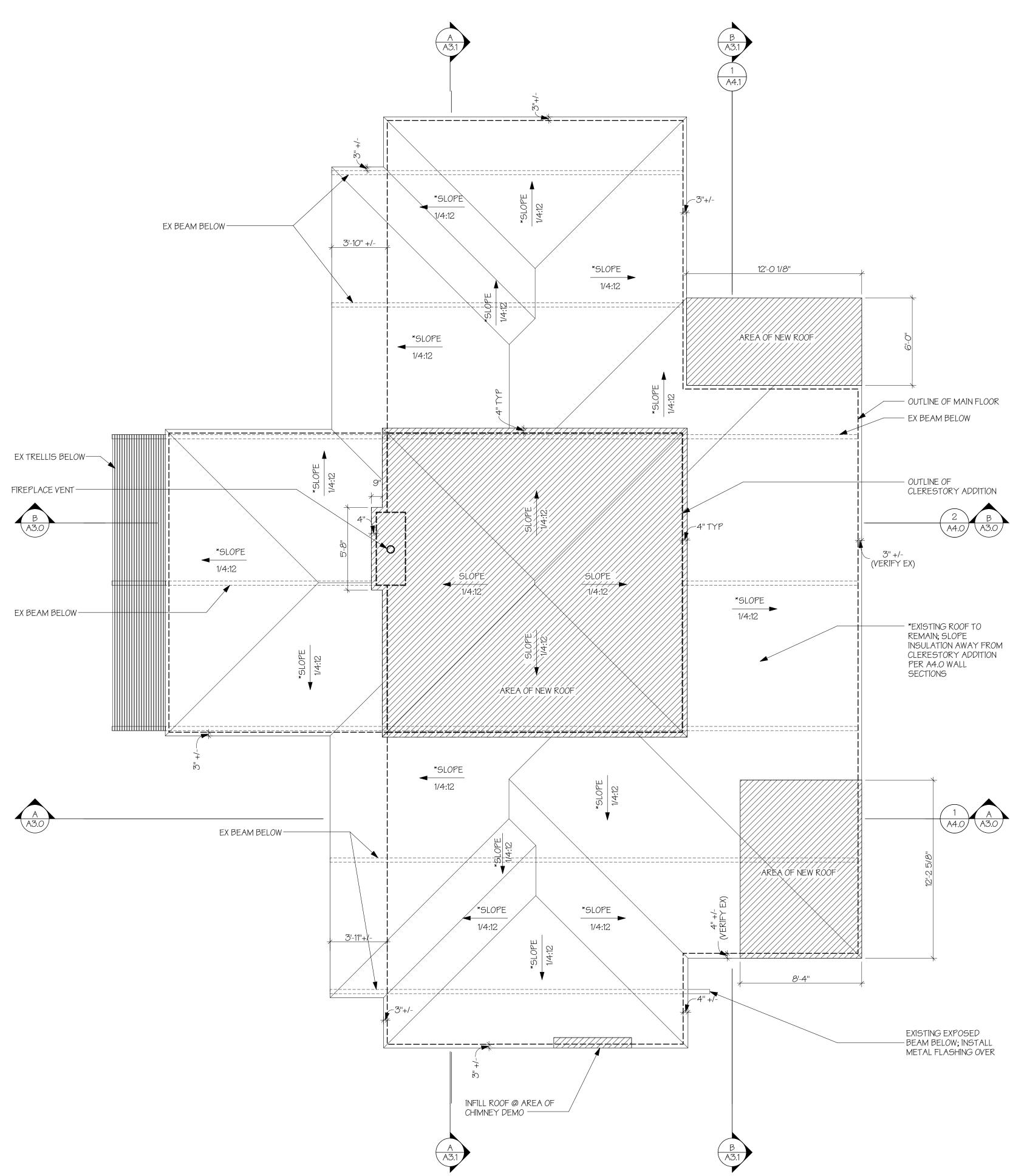
CLERESTORY PLAN



A1.4



A4.0/ \A3.



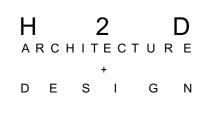


Ν

98040 **PEHA RESIDENCE** WAY AND WA MERCER MERCER ISL 7653 W |







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

ROOF PLAN



A1.5

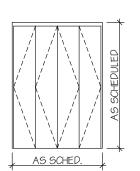
| | | | | | DOOR SCHE | DULE | | | | |
|--------------|--------------|--------------|-----------------|-----------------|------------|----------|------------|--------|---|-------|
| | | R.O. DIMENSI | ONS *SEE NOTE 1 | DOOR LEAF | DIMENSIONS | | тиск | AREA | NOTEO | |
| | ID | WIDTH | HEIGHT | W | HT | - TYPE | THICK | (SF) | NOTES | U-VAL |
| LOWER FLOOR | I | - | | | • | | | | 1 | |
| | 01 | 8'-2" | 7'-2 1/2" | 8'-0'' | 7'-0'' | ROLL-UP | 0'-13/4" | 0.00 | GARAGE DOOR, TEMPERED | |
| | 02 | 8'-2" | 7'-2 1/2" | 8'-0'' | 7'-0'' | ROLL-UP | 0'-13/4" | 0.00 | GARAGE DOOR, TEMPERED | |
| | 03 | 7'-2" | 7'-2 1/2" | 7'-0'' | 7'-0'' | FRENCH | 0'-13/4" | 49.00 | TEMPERED; PR 3'-6" DOORS | .20 |
| | 04 | 3'-0" | 6'-10 1/2" | 2'-10'' | 6'-8" | POCKET | 0'-1 3/8" | 0.00 | | |
| | 05 | 6'-2" | 6'-10 1/2" | 6'-0'' | 6'-8" | BI-PASS | 0'-1 3/8" | 0.00 | PR 3'-O" DOORS | |
| | 06 | 2'-10'' | 6'-10 1/2" | 2'-8" | 6'-8" | SWING | 0'-1 3/8'' | 0.00 | | |
| | 07 | 2'-8" | 6'-10 1/2" | 2'-6" | 6'-8" | SWING | 0'-1 3/8'' | 0.00 | | |
| | 08 | 2'-6" | 6'-8 1/2" | 2'-4" | 6'-6" | SWING | 0'-1 3/8'' | 0.00 | VERIFY HEAD HEIGHT @ UNDER STAIR | |
| | 09 | 2'-10'' | 6'-10 1/2" | 2'-8" | 6'-8" | SWING | 0'-1 3/8" | 0.00 | 13/8" S.C. 20 MIN RATED DR W/ SELF CLOSER | |
| MAIN FLOOR | | • | | | | 1 | | | 1 | |
| | 10 | 2'-10'' | 7'-2 1/2" | 2'-8" | 7'-0'' | SWING | 0'-1 3/4" | 0.00 | TEMPERED | .20 |
| | 11 | 2'-8" | 7'-2 1/2" | 2'-6" | 7'-0'' | POCKET | 0'-1 3/8'' | 0.00 | | |
| | 12 | 2'-8" | 7'-2 1/2" | 2'-6" | 7'-0'' | POCKET | 0'-1 3/8'' | 0.00 | | |
| | 13 | 2'-6" | 7'-2 1/2" | 2'-4" | 7'-0'' | POCKET | 0'-1 3/8'' | 0.00 | | |
| | 14 | 3'-0" | 7'-2 1/2" | 2'-10'' | 7'-0'' | SWING | 0'-1 3/8" | 0.00 | | |
| | 15 | 5'-1 1/4" | 7'-2 1/2" | 3'-0" | 7'-0'' | SWING | 0'-13/4" | 0.00 | ENTRY DOOR W/ 2'-O" SIDELITE; TEMPERED | .20 |
| | 16 | 4'-2" | 7'-2 1/2" | 4'- <i>0</i> '' | 7'-0'' | SWING | 0'-1 3/8" | 0.00 | (PR) 2'-0 DOORS | |
| | 17 | 2'-4" | 7'-2 1/2" | 2'-2" | 7'-0'' | SWING | 0'-1 3/8" | 0.00 | | |
| | 18 | 3'-2" | 7'-2 1/2" | 3'-0'' | 7'-0'' | SWING | 0'-1 3/8'' | 0.00 | | |
| | 19 | 2'-8" | 7'-2 1/2" | 2'-6" | 7'-0'' | SWING | 0'-1 3/8'' | 0.00 | | |
| | 20 | 5'-2" | 7'-2 1/2" | 5'-0" | 7'-0'' | BI-FOLD | 0'-1 3/8" | 0.00 | (PR) 2'-6" DOORS | |
| | 21 | 2'-8" | 7'-2 1/2" | 2'-6" | 7'-0'' | POCKET | 0'-1 3/8" | 0.00 | | |
| | 22 | 2'-8" | 7'-2 1/2" | 2'-6" | 7'-O'' | POCKET | 0'-1 3/8" | 0.00 | | |
| | 23 | 2'-10'' | 8'-2 1/4" | 2'-8" | 6'-8" | SWING | 0'-13/4" | 22.30 | TEMPERED W/ 1'-6" TRANSOM | .20 |
| | 24 | 6'-8" | 7'-2 1/2" | 6'-6'' | 7'-O'' | S.G.D. | 0'-13/4" | 75.00 | TEMPERED | .20 |
| | 25 | 8'-2" | 7'-2 1/2" | 8'-0'' | 7'-0'' | S.G.D. | 0'-13/4" | 56.00 | TEMPERED | .20 |
| TOTAL EXTERI | IOR DOOR ARI | EA: | I | | I | I | | 202.30 | | |

MANUFACTURER: INTERIOR: SIMPSON OR EQUAL SOLID CORE FLAT PANEL DOOR EXTERIOR: T.B.S.

NOTES:

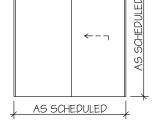
1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS 2. SEE ELEVATIONS FOR CONFIGURATION

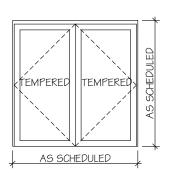
3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION 4. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS



<u>BI-FOLD</u>

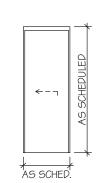




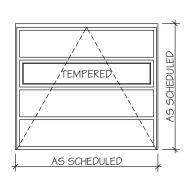


EXTERIOR

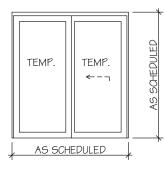
FRENCH



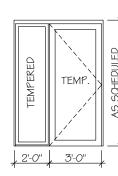
POCKET



ROLL-UP

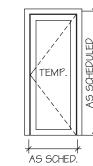


<u>S.G.D.</u>

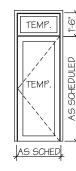


BI-PASS

ENTRY SWING



EXTERIOR SWING



EXTERIOR SWING



INTERIOR SWING

| | | | | Ň | /INDOW | SCHED | JLE | | |
|-------------|----|------------|--------------------|--------------|--------|-------|-------|--|-------|
| | ID | ROUGH O | PENING *SEE NOTE 1 | ROUGH HEAD | TYPE | OPER | AREA | NOTES | U-VAL |
| | | WIDTH | HEIGHT | FROM SUBFLR. | | | (SF) | NOTES | |
| LOWER FLOOR | | • | | | | • | | | - |
| | 01 | 5'-6" | 4'-6" | 7'-2 1/2" | А | С | 24.75 | FRENCH CASEMENT; EGRESS | .30 |
| | 02 | 7'-0" | 4'-6" | 7'-2 1/2" | В | H.S. | 31.50 | | .30 |
| | 03 | 3'-4 1/2" | 1'-2" | 8'-5 3/4" | E | А | 3.90 | VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED, TRANSLUCENT | .30 |
| MAIN FLOOR | | • | | | | • | | | |
| | 04 | 5'-1" | 1'-2 1/2" | 8'-6 1/4" | С | P | 6.00 | DOOR #15 TRANSOM; TEMPERED | .30 |
| | 05 | 5'-0'' | 1'-2 1/2" | 8'-6 1/4" | С | P | 6.00 | | .30 |
| | 06 | 2'-8 1/8" | 1'-2 1/2" | 8'-6 1/4" | С | P | 3.20 | VERIFY FIT IN EXISTING ROUGH OPENING | .30 |
| | 07 | 2'-8 1/8" | 6'-6 1/4" | 7'-3 3/4" | D | C/P | 17.40 | VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED | .30 |
| | 08 | 6'-7 3/4" | 1'-2 1/2" | 8'-6 1/4" | С | P | 8.00 | VERIFY FIT IN EXISTING ROUGH OPENING | .30 |
| | 09 | 3'-1" | 1'-2 1/2" | 8'-6 1/4" | E | А | 3.70 | VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED | .30 |
| | 10 | 4'-7" | 1'-2 1/2" | 8'-6 1/4" | С | P | 5.50 | VERIFY FIT IN EXISTING ROUGH OPENING | .30 |
| | 11 | 2'-8" | 1'-2 1/2" | 8'-6 1/4" | С | P | 3.20 | VERIFY FIT IN EXISTING ROUGH OPENING | .30 |
| | 12 | 2'-8" | 6'-6 1/4" | 7'-3 3/4" | D | C/P | 17.40 | VERIFY FIT IN EXISTING ROUGH OPENING; TEMPERED; EGRESS | .30 |
| | 13 | 7'-0" | 3'-6" | 7'-2" | В | H.S. | 24.50 | | .30 |
| | 14 | 2'-10'' | 6'-4" | 7'-2" | С | P | 17.90 | TEMPERED | .30 |
| | 15 | 2'-10'' | 6'-4" | 7'-2" | С | P | 17.90 | TEMPERED | .30 |
| | 16 | 2'-10'' | 6'-4" | 7'-2" | С | P | 17.90 | TEMPERED | .30 |
| | 17 | 2'-10'' | 6'-3 1/4" | 7'-1" | С | P | 17.80 | VERIFY FIT IN EXISTING ROUGH OPENING HEIGHT; TEMPERED | .30 |
| | 18 | 7'-6" | 6'-3 1/2" | 7'-1" | С | P | 43.50 | VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED | .30 |
| | 19 | 7'-6" | 6'-3 1/2" | 7'-1" | С | P | 43.60 | VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED | .30 |
| | 20 | 6'-6 3/8" | 6'-3 1/2" | 7'-1" | С | P | 41.10 | VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED | .30 |
| | 21 | 2'-10 1/2" | 6'-3 3/4" | 7'-1 1/2" | С | P | 18.30 | VERIFY FIT IN EXSITING ROUGH OPENING, TEMPERED | .30 |
| | 22 | 2'-10" | 6'-3 3/4" | 7'-1 1/2" | С | P | 18.30 | VERIFY FIT IN EXISTING ROUGH OPENING, TEMPERED | .30 |
| | 23 | 5'-0'' | 3'-4" | 7'-1 1/2" | С | Р | 16.70 | TRANSLUCENT | .30 |
| | 24 | 3'-0" | 1'-2 1/2" | 8'-6 1/4" | С | P | 3.60 | VERIFY FIT IN EXISTING ROUGH OPENING; W/ UV PROTECTION COATING | .24 |
| | 25 | 2'-5" | 1'-2 1/2" | 8'-6 1/4" | С | P | 2.90 | VERIFY FIT IN EXISTING ROUGH OPENING; W/ UV PROTECTION COATING | .24 |
| | 26 | 5'-9" | 1'-2 1/2" | 8'-6 1/4" | С | Р | 6.90 | VERIFY FIT IN EXISTING ROUGH OPENING | .30 |
| CLERESTORY | | 1 | | 1 | - | | | | |
| | 27 | 3'-6" | 1'-4" | 3'-5 1/4" | С | P | 4.70 | | .30 |
| | 28 | 3'-6" | 1'-4" | 3'-5 1/4" | E | А | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 29 | 3'-6" | 1'-4" | 3'-5 1/2" | E | Α | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 30 | 3'-6" | 1'-4" | 3'-5 1/2" | С | P | 4.70 | | .30 |
| | 31 | 3'-6" | 1'-4" | 3'-5 1/4" | С | P | 4.70 | | .30 |
| | 32 | 3'-6" | 1'-4" | 3'-5 1/4" | E | А | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 33 | 3'-6" | 1'-4" | 3'-5 1/4" | E | А | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 34 | 3'-6" | 1'-4" | 3'-5 1/4" | С | Р | 4.70 | | .30 |
| | 35 | 3'-6" | 1'-4" | 3'-5 1/4" | С | P | 4.70 | | .30 |
| | 36 | 3'-6" | 1'-4" | 3'-5 1/4" | E | Α | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 37 | 3'-6" | 1'-4" | 3'-5 1/4" | E | А | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 38 | 3'-6" | 1'-4" | 3'-5 1/4" | С | Р | 4.70 | | .30 |
| | 39 | 3'-6" | 1'-4" | 3'-5 1/2" | С | Р | 4.70 | | .30 |
| | 40 | 3'-6" | 1'-4" | 3'-5 1/2" | E | А | 4.70 | REMOTE OPERABLE WINDOW | .30 |
| | 41 | 3'-6" | 1'-4" | 3'-5 1/2" | С | P | 4.70 | | .30 |

MANUFACTURER: T.B.S. T.B.S.

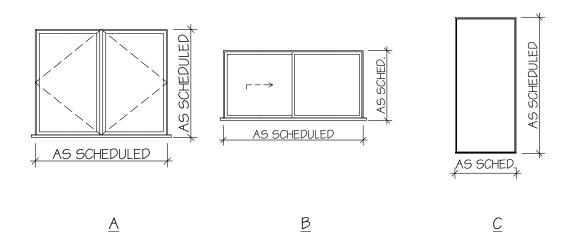
SERIES:

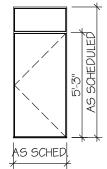
NOTES: 1. VERIFY ROUGH OPENING SIZES WITH SELECTED MANUFACTURER REQUIREMENTS

2. SEE ELEVATIONS FOR CONFIGURATION 3. VERIFY ALL SIZES AND ROUGH OPENINGS PRIOR TO CONSTRUCTION

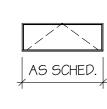
4. VERIFY EXISTING ROUGH OPENINGS WHERE WINDOWS ARE BEING REPLACED IN THE EXISTING OPENINGS PRIOR TO ORDERING THE WINDOWS 5. CONTACT ARCHITECT IMMEDIATELY WITH QUESTIONS

6. TRANSLUCENT GLASS TO BE SATIN ETCH. PROVIDE GLASS SAMPLE TO OWNER/ARCH FOR APPROVAL PRIOR TO ORDERING









Ε

| KEY | |
|---|--|
| A = AWNING C = CASEMENT H.S. = HORIZONTA P = PICTURE S.H. = SINGLE HU H = HOPPER | |

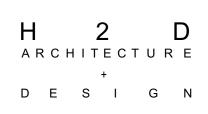
MERCER ISLAND WA 98040 **PEHA RESIDENCE** 7653 W

WAY

MERCER







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

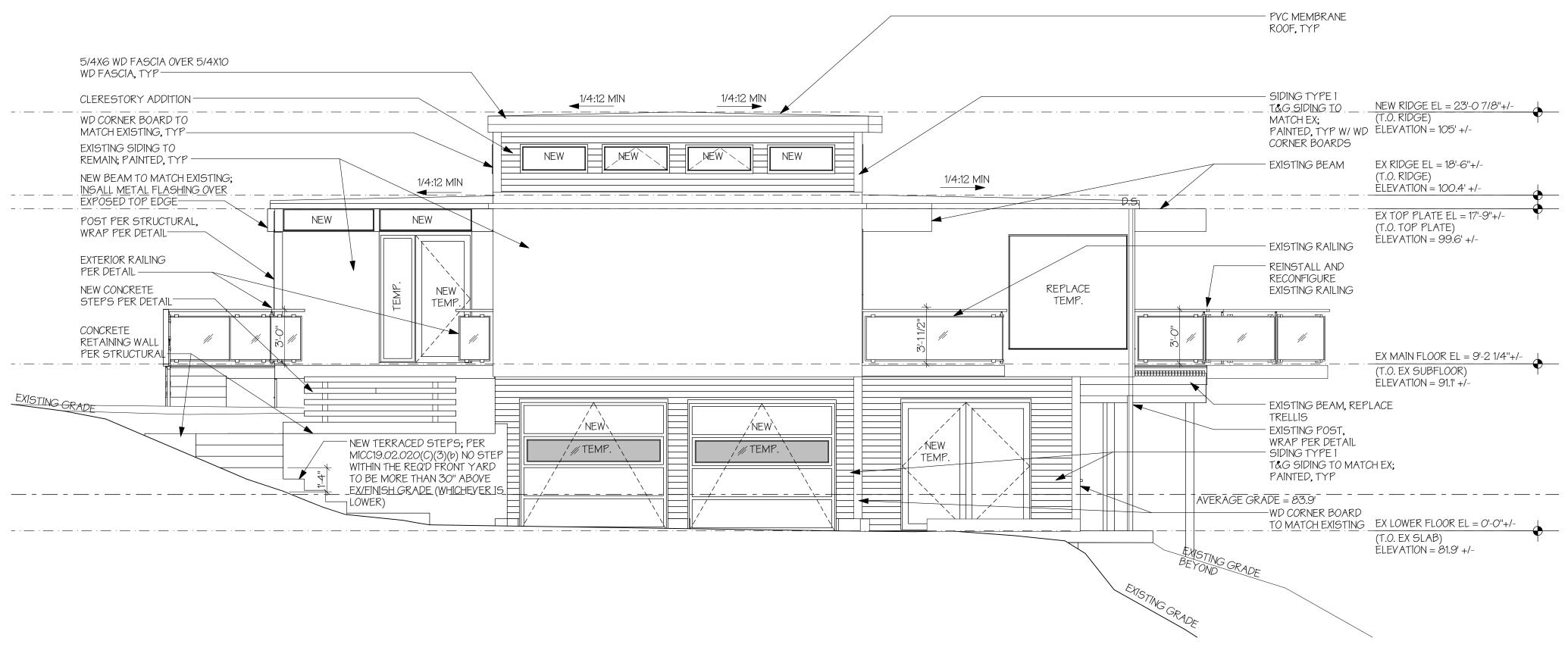
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

WINDOW AND DOOR SCHEDULES



A1.6



NORTH ELEVATION

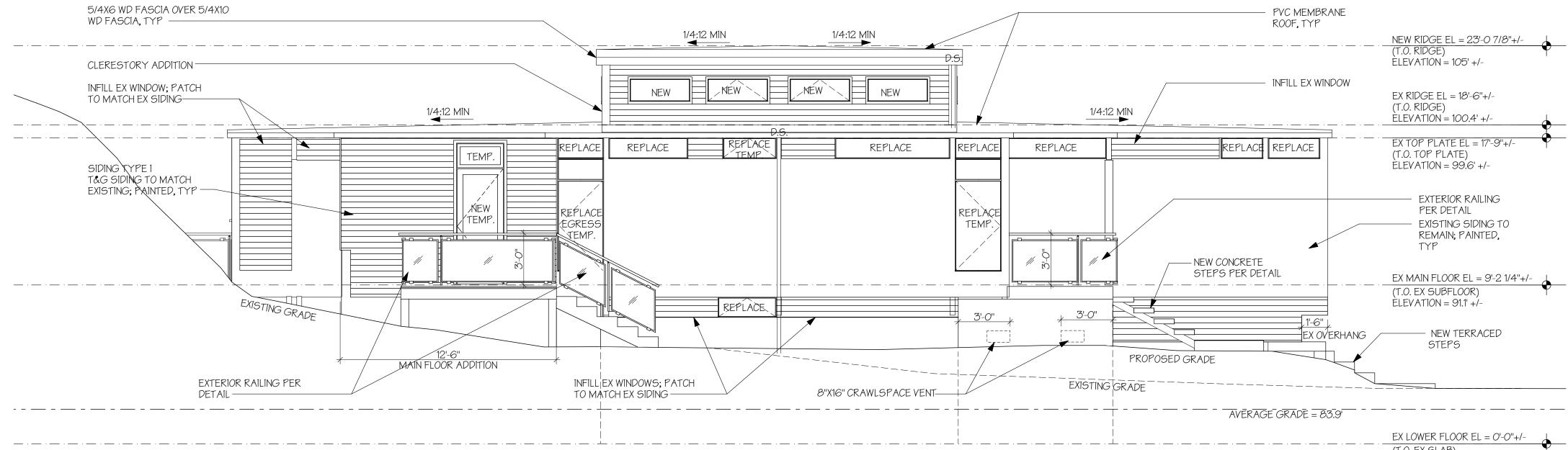
SCALE: 1/4" = 1'-0"

VENTILATION REQUIREMENTS

CRAWLSPACE: MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR AREA, UNLESS THE GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL. WHEN CLASS 1 VAPOR RETARDER IS USED, THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTILATION OPENINGS.

TOTAL NEW CRAWLSPACE AREA = 93.8 SF REQUIRED VENTILATION AREA W/ CLASS 1 VAPOR RETARDER MATERIAL ON GROUND SURFACE = .62 SF MIN

(QTY 2) CORNER CRAWLSPACE VENTS @ 8"X16" = .86 SF



EAST ELEVATION

NEW RIDGE EL = 23'-0 7/8"+/-(T.O. RIDGE) MATCH EX; (T.O. RIDGE) PAINTED, TYP W/ WD ELEVATION = 105' +/-

EX RIDGE EL = 18'-6"+/-(T.O. RIDGE) ELEVATION = 100.4' +/-EX TOP PLATE EL = 17'-9"+/-(T.O. TOP PLATE) ÈLEVATION = 99.6' +/-

EX MAIN FLOOR EL = 9'-2 1/4"+/-(T.O. EX SUBFLOOR) ÈLEVATION = 91.1' +/-

T&G SIDING TO MATCH EX;

TO MATCH EXISTING EX LOWER FLOOR EL = 0'-0"+/-(T.O. EX SLAB) ÈLEVATION = 81.9' +/-

30' HEIGHT LIMIT = 113.9'

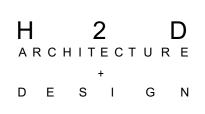
- PVC MEMBRANE ROOF, TYP NEW RIDGE EL = 23'-0 7/8"+/-(T.O. RIDGE) ÈLEVATION = 105' +/-— INFILL EX WINDOW EX RIDGE EL = 18'-6''+/-(T.O. RIDGE) ELEVATION = 100.4' +/-EX TOP PLATE EL = 17'-9"+/-(T.O. TOP PLATE) REPLACE REPLACE ÈLEVATION = 99.6' +/-EXTERIOR RAILING PER DETAIL EXISTING SIDING TO REMAIN; PAINTED, TYP EX MAIN FLOOR EL = 9'-2 1/4"+/-(T.O. EX SUBFLOOR) $\dot{E}LEVATION = 91.1' + / -$ - NEW TERRACED EX OVERHANG STEPS

EX LOWER FLOOR EL = O'-O''+/-(T.O. EX SLAB) ÈLEVATION = 81.9' +/-

98040 SIDENCE WAY MA RCER AND Ш М ШК MERCER ISI > PEHA 653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

EXTERIOR ELEVATIONS

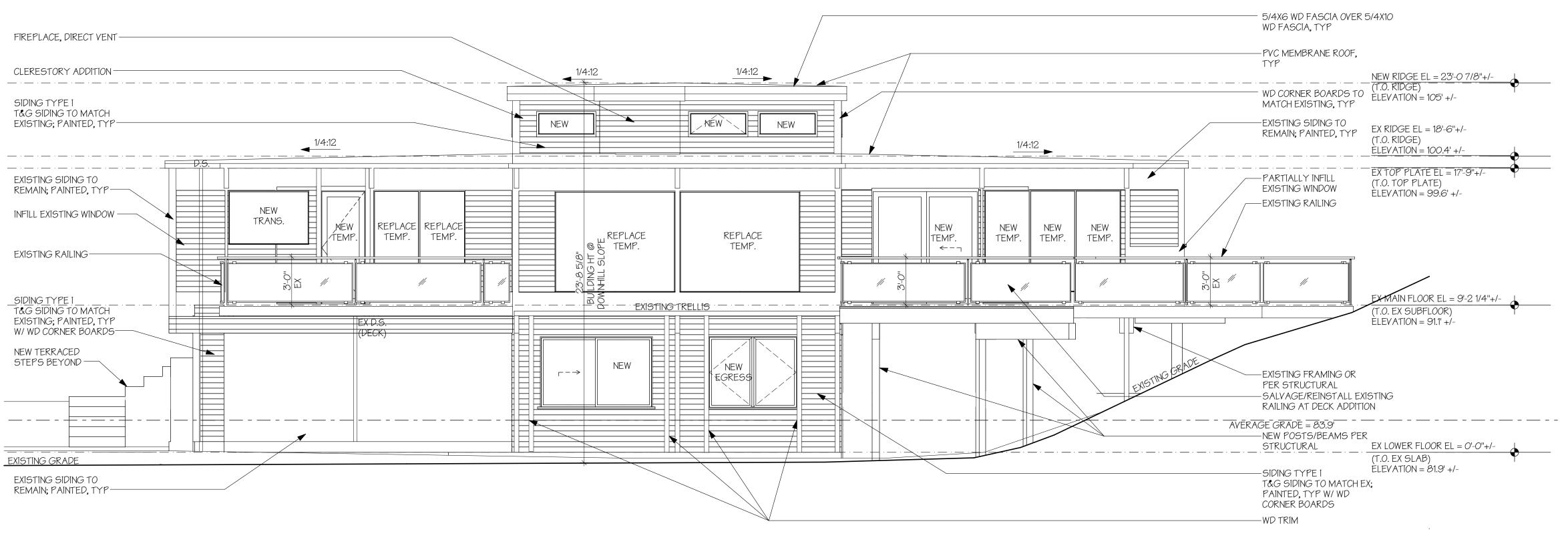


A2.0

WD CORNER BOARDS TO MATCH EXISTING, TYP-----· ___ · ___ · ___ · ___ · ___ · ___ 5/4X6 WD FASCIA OVER 5/4X10 WD FASCIA, TYP EXISTING SIDING TO REMAIN; PAINTED, TYP EXISTING EXPOSED BEAM; INSTALL METAL FLASHING OVER EXPOSED TOP EDGE PARTIALLY INFILL NEW TEMP. EXISTING WINDOW; PATCH TO MATCH EX SIDING TEMP. EXISTING RAILING-_ _ _ _ _ _ _

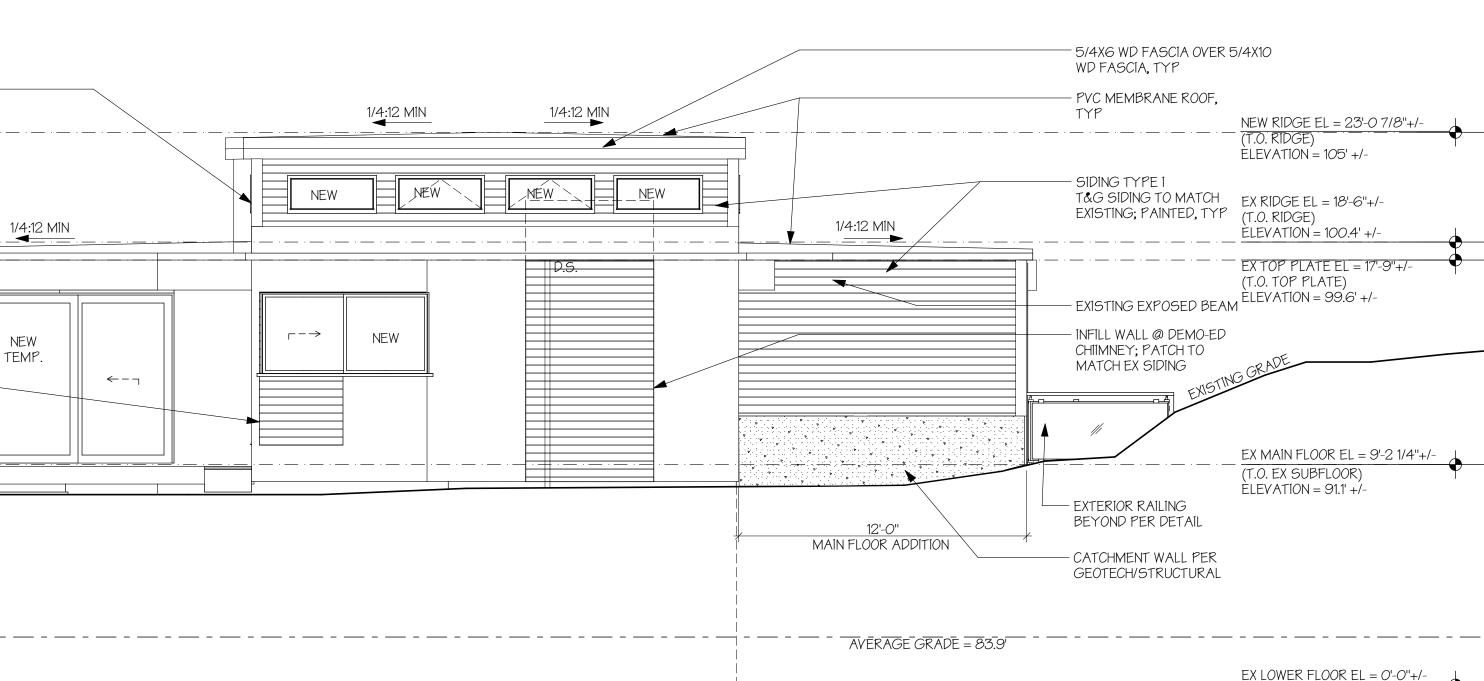


SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"



30' HEIGHT LIMIT = 113.9'

| | NEW RIDGE EL = 23'-0 7/8''+/- (T.O. RIDGE) ELEVATION = 105' +/- |
|---|--|
| 2 | EX RIDGE EL = 18'-6"+/- (T.O. RIDGE) ELEVATION = 100.4' +/- |
| | EX TOP PLATE EL = 17'-9"+/- (T.O. TOP PLATE) ELEVATION = 99.6' +/- |
| N | GRADE |
| | EX MAIN FLOOR EL = 9'-2 1/4"+/- (T.O. EX SUBFLOOR) |
| | ELEVATION = 91.1' +/- |

 $\frac{\text{EX LOWER FLOOR EL} = 0'-0''+/-}{(T.0. \text{ EX SLAB})}$ ELEVATION = 81.9' +/--0---

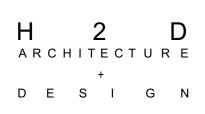
30' HEIGHT LIMIT = 113.9'

| — WD CORNER BOARDS TO MATCH EXISTING, TYP | NEW RIDGE EL = 23'-0 7/8"+/- (T.O. RIDGE) ELEVATION = 105' +/- | - ¢ |
|---|--|------------|
| — EXISTING SIDING TO REMAIN; PAINTED, TYP | EX RIDGE EL = 18'-6"+/- (T.O. RIDGE) ELEVATION = 100.4' +/- | - • |
| — PARTIALLY INFILL EXISTING WINDOW — EXISTING RAILING | EX TOP PLATE EL = 17'-9"+/- (T.O. TOP PLATE) ELEVATION = 99.6' +/- | φ |

9804 SIDENCE MA RCER AND ME Ш MERCER ISI \geq PEHA 653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

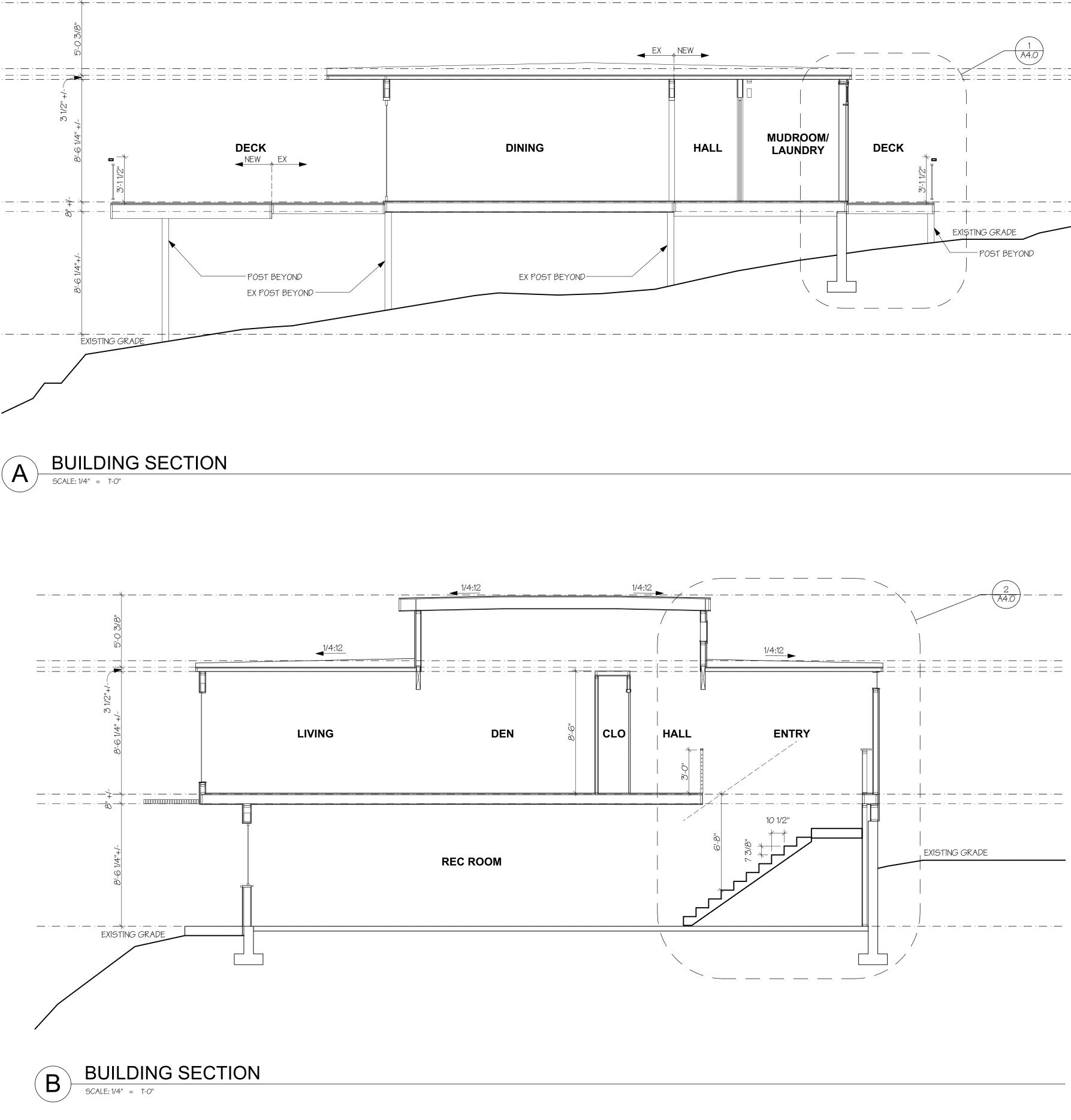
DATE: 07/12/2018 REVISED: 12/12/2018

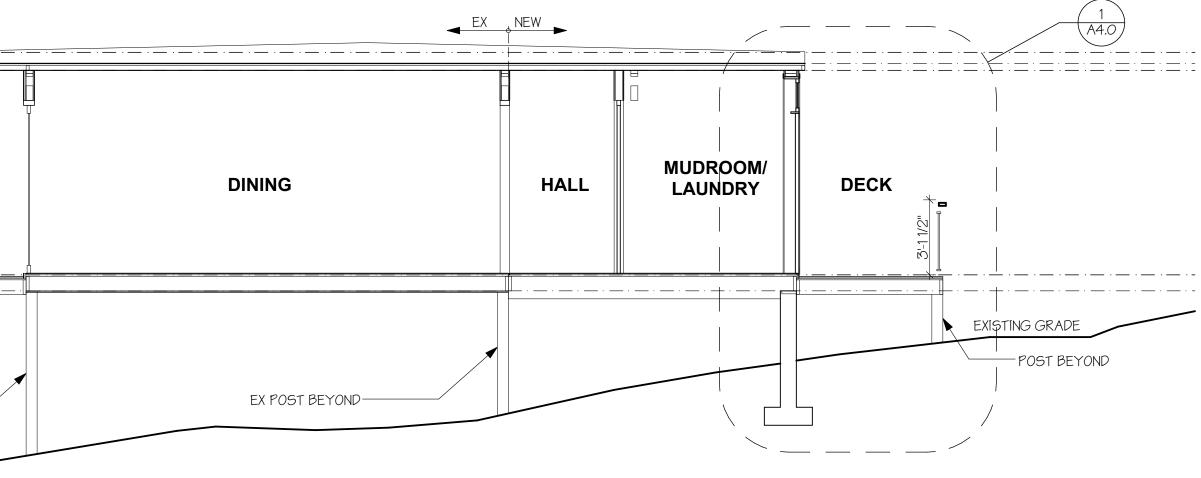
PERMIT SET

EXTERIOR ELEVATIONS



A2.1

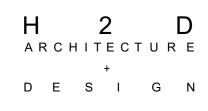




98040 **PEHA RESIDENCE** WAY AND WA MERCER MERCER ISL \geq 7653







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

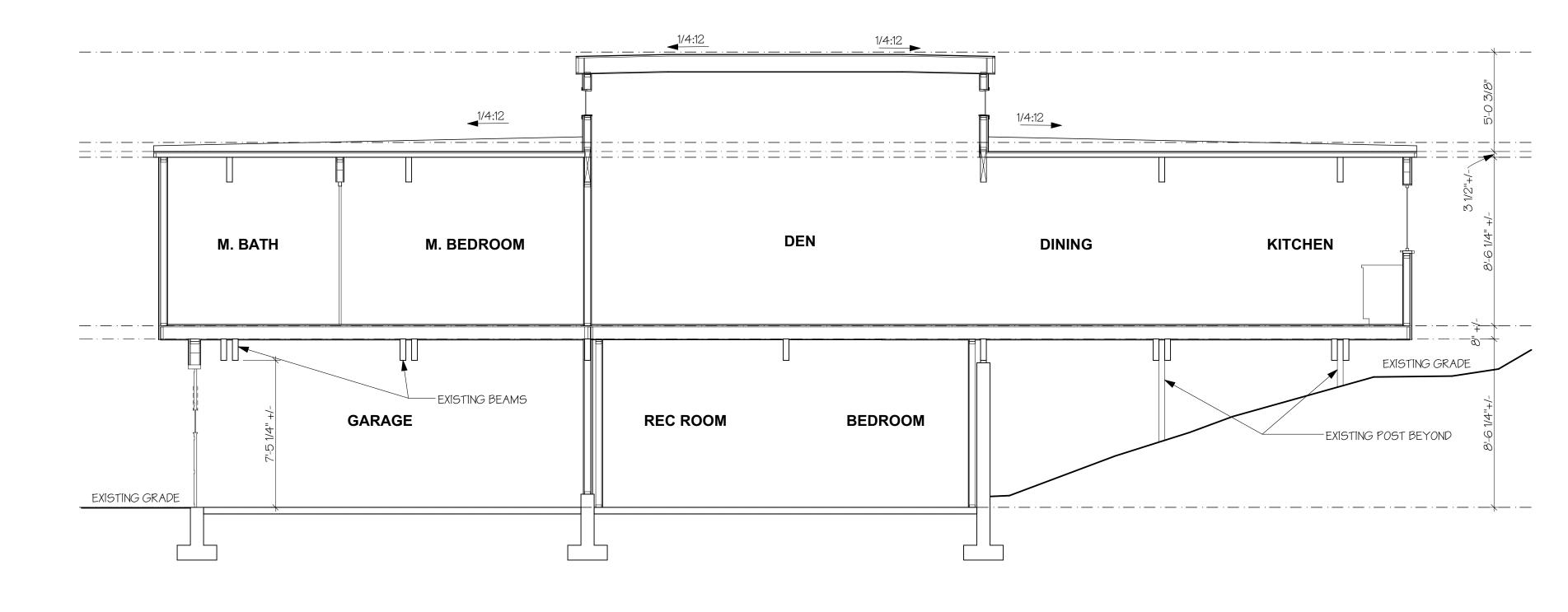
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

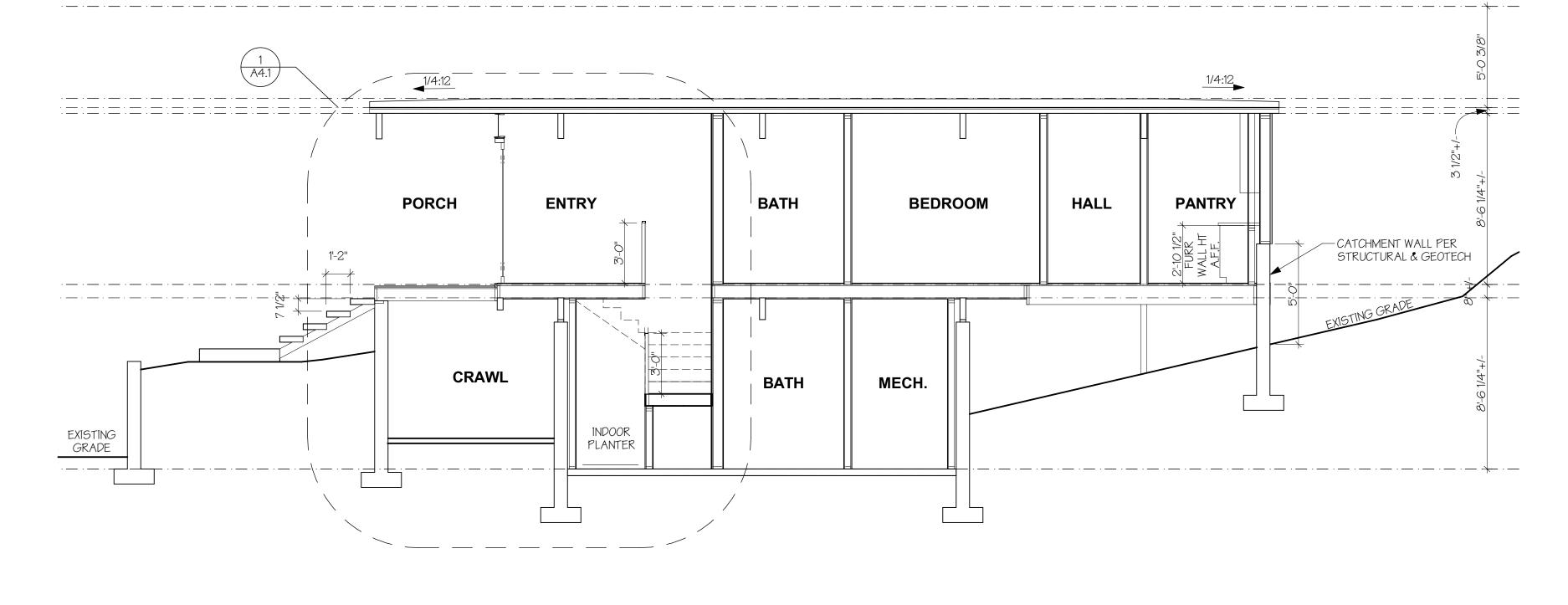
BUILDING SECTIONS



A3.0





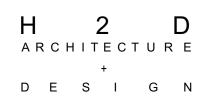




PEHA RESIDENCE 7653 W MERCER WAY MERCER ISLAND WA 98040







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

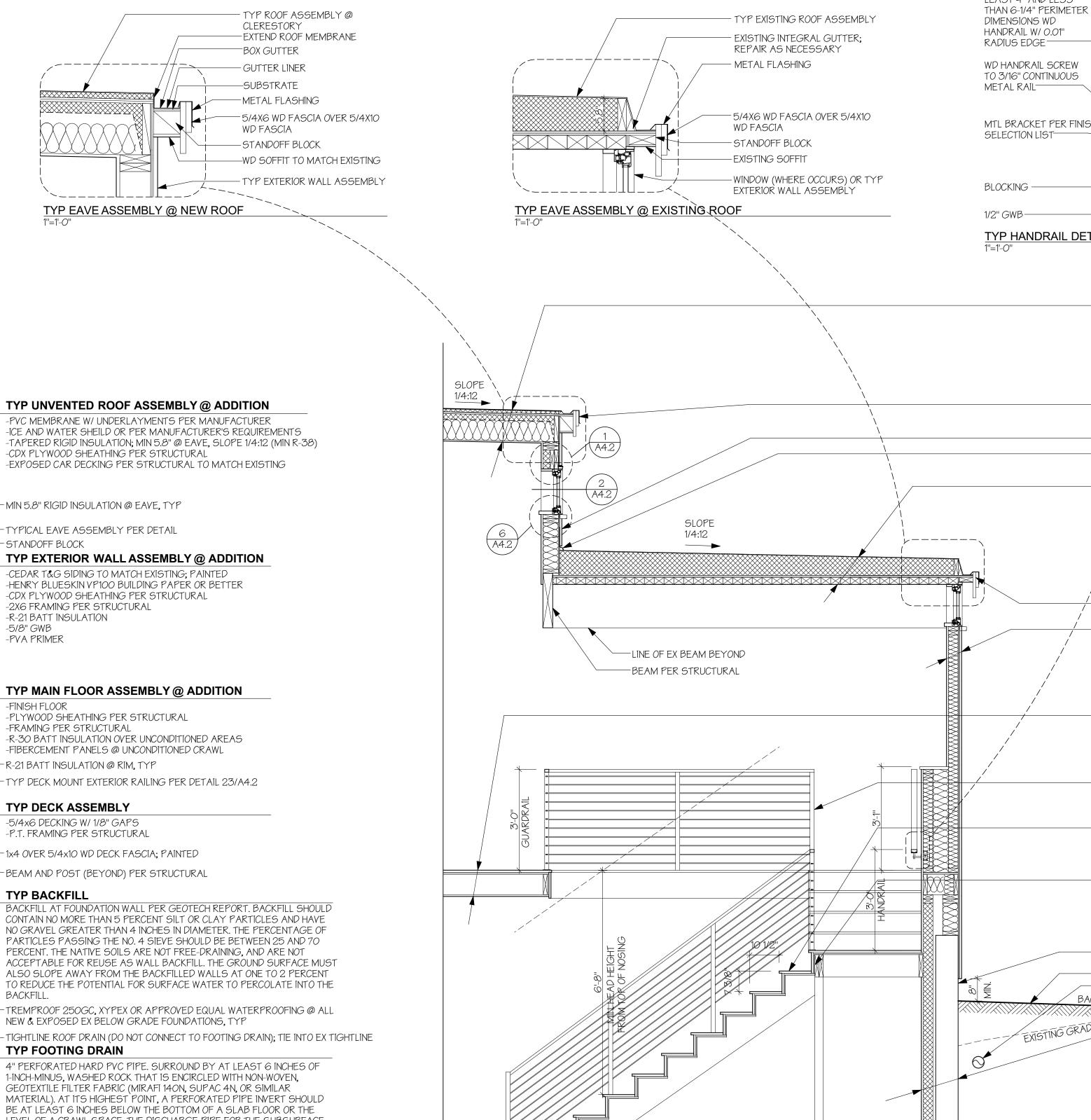
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

BUILDING SECTIONS



A3.1



-CDX PLYWOOD SHEATHING PER STRUCTURAL

- MIN 5.8" RIGID INSULATION @ EAVE, TYP

-TYPICAL EAVE ASSEMBLY PER DETAIL

STANDOFF BLOCK

-CEDAR T&G SIDING TO MATCH EXISTING; PAINTED -HENRY BLUESKIN VP100 BUILDING PAPER OR BETTER -CDX PLYWOOD SHEATHING PER STRUCTURAL -2X6 FRAMING PER STRUCTURAL -R-21 BATT INSULATION -5/8" GWB -PVA PRIMER

TYP MAIN FLOOR ASSEMBLY @ ADDITION

-FINISH FLOOR -PLYWOOD SHEATHING PER STRUCTURAL -FRAMING PER STRUCTURAL -R-30 BATT INSULATION OVER UNCONDITIONED AREAS -FIBERCEMENT PANELS @ UNCONDITIONED CRAWL

- TYP DECK MOUNT EXTERIOR RAILING PER DETAIL 23/A4.2

TYP DECK ASSEMBLY

-5/4x6 DECKING W/ 1/8" GAPS

TYP BACKFILL

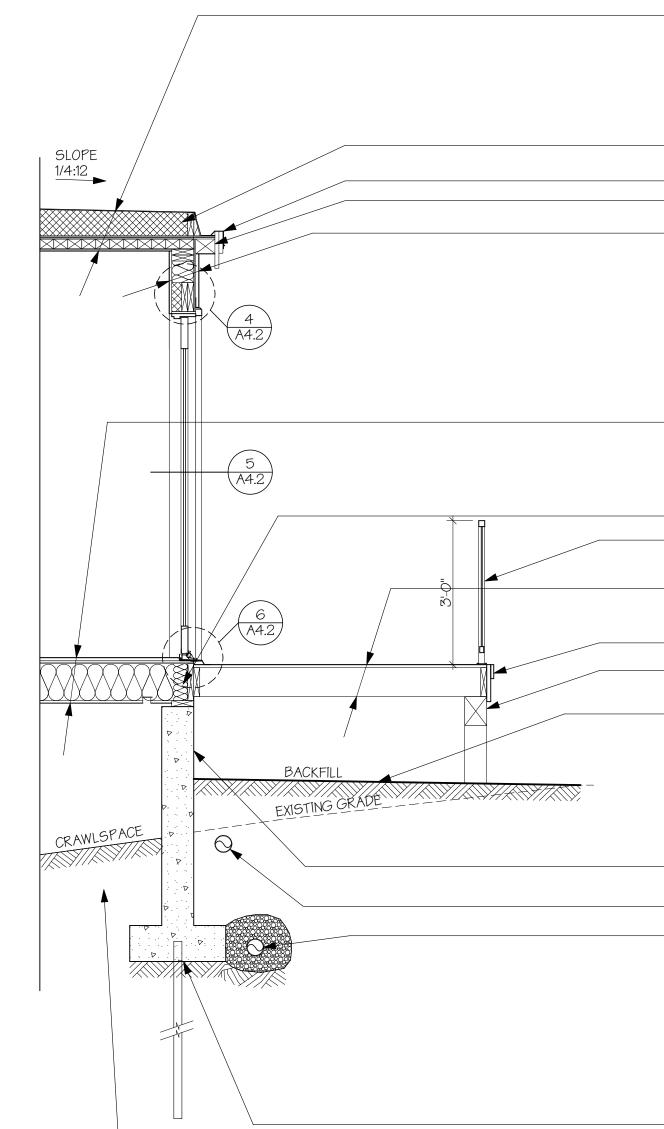
BACKFILL.

NEW & EXPOSED EX BELOW GRADE FOUNDATIONS, TYP

TYP FOOTING DRAIN

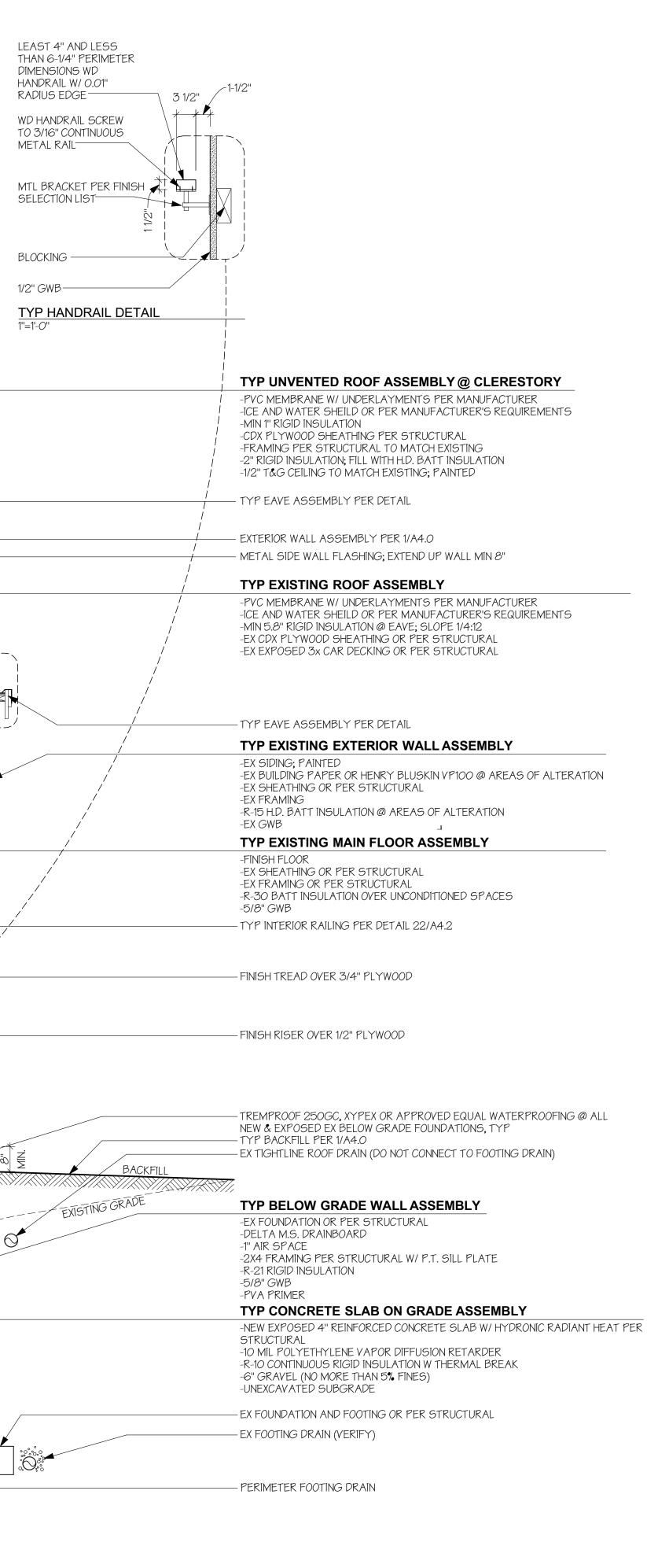
4" PERFORATED HARD PVC PIPE. SURROUND BY AT LEAST 6 INCHES OF 1-INCH-MINUS, WASHED ROCK THAT IS ENCIRCLED WITH NON-WOVEN, GEOTEXTILE FILTER FABRIC (MIRAFI 140N, SUPAC 4N, OR SIMILAR MATERIAL). AT ITS HIGHEST POINT, A PERFORATED PIPE INVERT SHOULD BE AT LEAST 6 INCHES BELOW THE BOTTOM OF A SLAB FLOOR OR THE LEVEL OF A CRAWL SPACE. THE DISCHARGE PIPE FOR THE SUBSURFACE DRAINS SHOULD BE SLOPED FOR FLOR TO THE OUTLET POINT. ROOF AND SURFACE WATER DRAINS MUST NOT DISCHARGE INTO THE FOUNDATION DRAIN SYSTEM. PERFORATED PVC PIPE IS RECOMMENDED FOR ALL SUBSURFACE DRAINS. CLEAN-OUTS SHOULD BE PROVIDED FOR POTENTIAL FUTURE FLUSHING OR CLEANING OF FOOTING DRAINS. -CONCRETE FOUNDATION & PIPE PILES PER STRUCTURAL & GEOTECH

-IN CRAWL SPACES, PROVIDE AN OUTLET DRAIN TO PREVENT BUILDUP OF WATER THAT BYPASSES THE PERIMETER FOOTING DRAINS PER GEOTECH





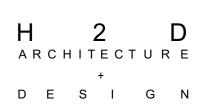




SIDENCE 980 WA \geq Ŷ С Ш AND Ш \geq Ŕ S К 4 653 Ш Ì MERCI Ш Δ







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

WALL SECTIONS



TYPICAL EXISTING ROOF ASSEMBLY PER 2/A4.0 -

TYP NEW PORCH ROOF ASSEMBLY -PVC MEMBRANE W/ UNDERLAYMENTS PER MANUFACTURER -ICE AND WATER SHEILD OR PER MANUFACTURER'S REQUIREMENTS -RIGID INSULATION; MIN 5.8" @ EAVE, SLOPE 1/4:12 -CDX PLYWOOD SHEATHING PER STRUCTURAL -FRAMING PER STRUCTURAL TO MATCH EXISTING -1/2" T&G SOFFIT TYPICAL EAVE ASSEMBLY PER A4.0 DETAIL—

NEW EXPOSED BEAM PER STRUCTURAL-

| EXISTING EXPOSED BEAM | |
|-----------------------|--|
| | |

TYP INTERIOR WALL ASSEMBLY

-5/8" GWB -EXISTING FRAMING OR PER STRUCTURAL

-5/8" GWB TYP INTERIOR RAILING PER DETAIL 22/A4.2-

TYP EX MAIN FLOOR ASSEMBLY OVER CONDITIONED SPACE PER 2/A4.0 -

TYP EX MAIN FLOOR ASSEMBLY OVER UNCONDITIONED SPACE PER 1/A4.0-

TYP WATERPROOF ENTRY PORCH ASSEMBLY

-CONCRETE PAVERS -APPIAN PEDESTAL SYSTEM

-FIBERGLASS WATERPROOFING SYSTEM; SLOPE MIN 1/4":12" -MARINE GRADE PLYWOOD OR PER STRUCTURAL AND MANUFACTURER -FRAMING PER STRUCTURAL

| | <u>+ 1-2</u> | 2" |
|---|--------------|----|
| CONCRETE OR NATURAL STONE SLAB STEP, TO BE SELECTED | | |
| CLEAR SPACE AT OPEN RISERS SHALL NOT ALLOW | | _ |
| THE PASSAGE OF A 4" SPHERE | 11/2 | |
| | | D |

| NEW BEAM PER STRUCTURAL | |
|--|--|
| EXISTING EXPOSED BEAM | |
| TYP INTERIOR HANDRAIL PER A4.0 DETAIL | |
| TYP BELOW GRADE WALL ASSEMBLY PER 2/A4.0 | |
| FOUNDATION/RETAINING WALL PER STRUCTURAL AND GEOTECH | |

INSTALL 3" RAT SLAB AT CRAWLSPACE —

TREMPROOF 250GC, XYPEX OR APPROVED EQUAL WATERPROOFING @ ALL NEW & EXPOSED EX BELOW GRADE FOUNDATIONS, TYP-

TYP FOOTING DRAIN PER 1/A4.0 -

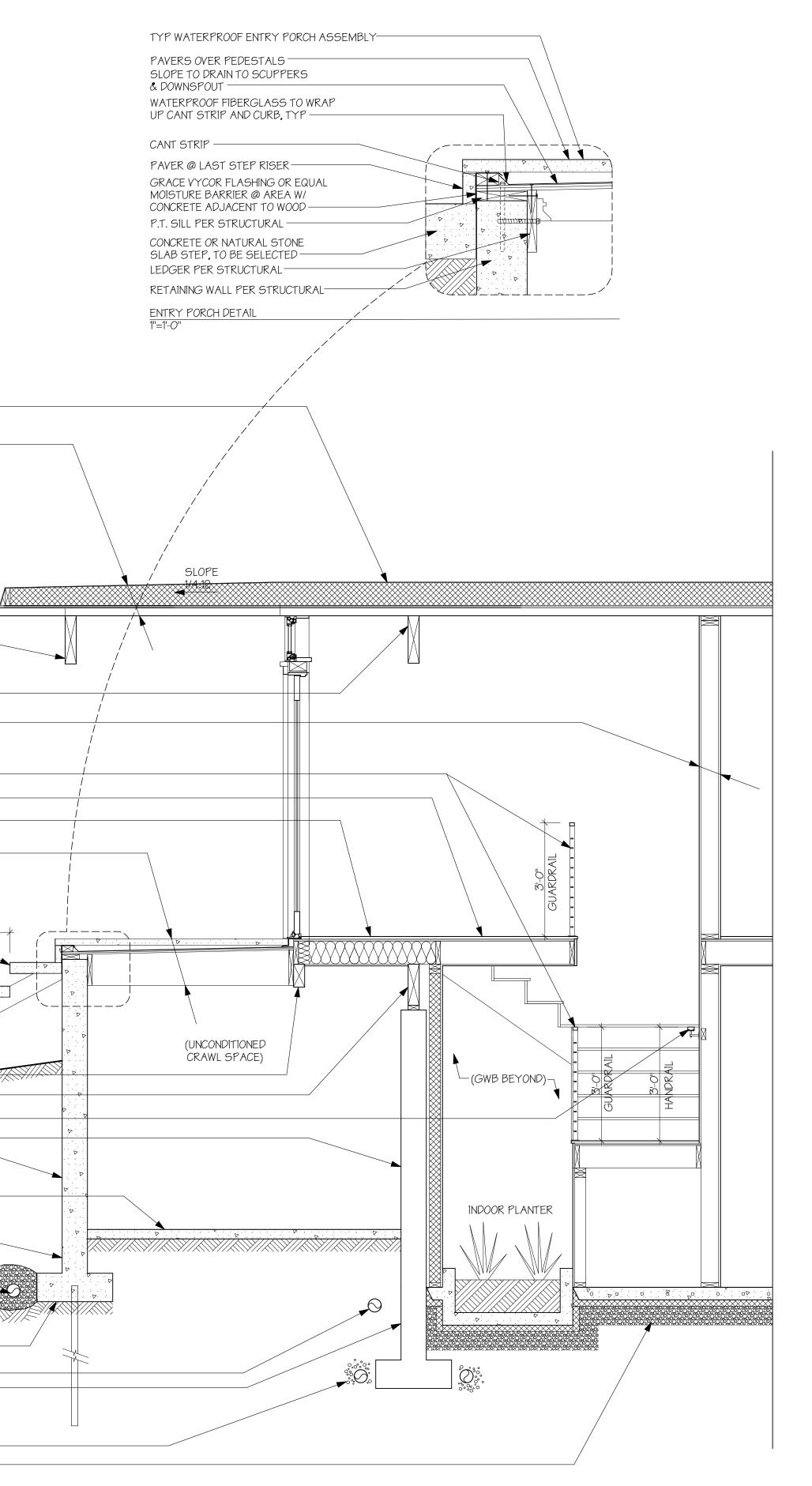
FOOTING & PIPE PILES PER STRUCTURAL AND GEOTECH -

EX TIGHTLINE ROOF DRAIN (DO NOT CONNECT TO FOOTING DRAIN)-

EXISTING FOUNDATION/FOOTING OR PER STRUCTURAL-

EXISTING FOOTING DRAIN (VERIFY) -TYP SLAB ON GRADE ASSEMBLY PER 2/A4.0 -



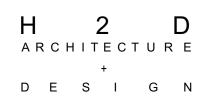


9804 SIDENCE WAY MA MERCER AND ШК ISL \geq MERCER PEHA 653

 \mathbf{O}







23020 EDMONDS WAY, #113 EDMONDS, WA 98020 P.206.542.3734 www.h2darchitects.com

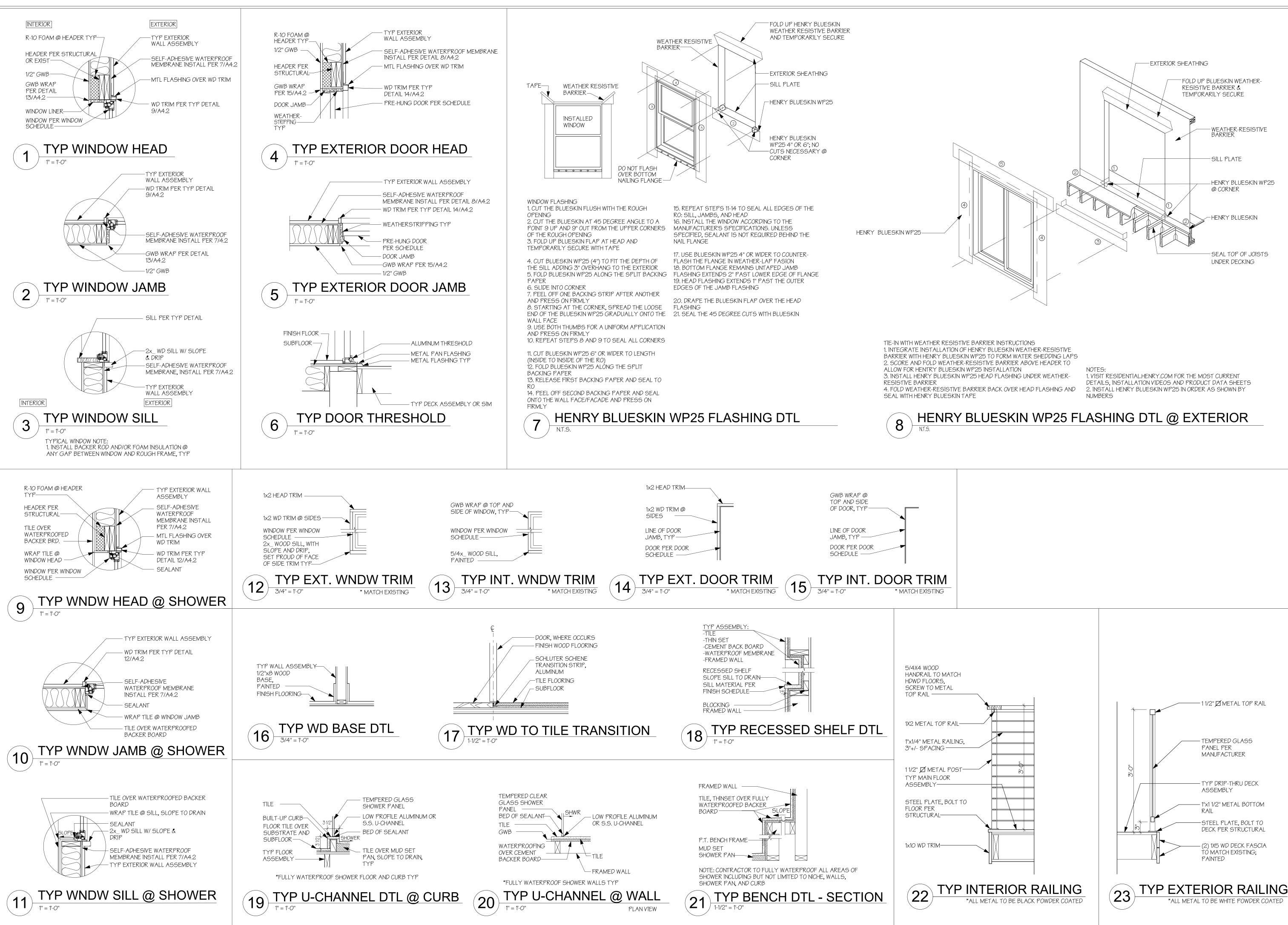
DATE: 07/12/2018 REVISED: 12/12/2018

PERMIT SET

WALL SECTIONS



A4.'





REVISED: 12/12/2018

PERMIT SET

DATE: 07/12/2018



P.206.542.3734

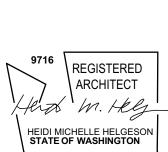
www.h2darchitects.com

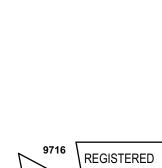












9804

MA

AND

S

 $\mathbf{\mathcal{L}}$

Ш

MERCI

WAY

RCER

Ш

 \geq

 \leq

653

SIDENCE

Ц

AH

ШД

STRUCTURAL NOTES

GENERAL REQUIREMENTS

BUILDING CODE & REFERENCE STANDARDS: THE "INTERNATIONAL BUILDING CODE" (IBC), 2015 EDITION, AS ADOPTED AND MODIFIED BY THE CITY OF MERCER ISLAND, GOVERNS THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS NOTED BELOW. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED.

SCOPE OF STRUCTURAL WORK: STRUCTURAL DESIGN OF REMODEL TO A SINGLE FAMILY RESIDENCE.

DEFINITIONS: THE FOLLOWING DEFINITIONS APPLY TO THESE GENERAL NOTES:

- "STRUCTURAL ENGINEER OF RECORD" (EOR) THE STRUCTURAL ENGINEER WHO IS LEGALLY RESPONSIBLE FOR STAMPING & SIGNING THE STRUCTURAL DOCUMENTS FOR THE PROJECT. THE EOR IS RESPONSIBLE FOR THE DESIGN OF THE PRIMARY STRUCTURAL SYSTEM.
- "SPECIALTY STRUCTURAL ENGINEER" (SSE) A LICENSED PROFESSIONAL ENGINEER, NOT THE EOR, WHO PERFORMS SPECIALTY STRUCTURAL ENGINEERING SERVICES NECESSARY TO COMPLETE THE STRUCTURE, WHO HAS EXPERIENCE AND TRAINING IN THE SPECIFIC SPECIALTY. THE GENERAL CONTRACTOR, SUBCONTRACTOR, OR SUPPLIER WHO IS RESPONSIBLE FOR THE DESIGN, FABRICATION AND INSTALLATION OF SPECIALTY-ENGINEERED ELEMENTS SHALL RETAIN THE SSE. SUBMITTALS SHALL BE STAMPED AND SIGNED BY THE SSE. DOCUMENTS STAMPED AND SIGNED BY THE SSE SHALL BE COMPLETED BY OR UNDER THE DIRECT SUPERVISION OF THE SSE WITH A PE OR SE LICENSE ISSUED BY THE STATE OF WASHINGTON.
- "DEFERRED SUBMITTALS DEFERRED SUBMITTAL IS ENGINEERING WORK TO BE DESIGNED-BY-OTHERS OR BIDDER-DESIGNED.

NOTE PRIORITIES: NOTES ON THE INDIVIDUAL DRAWINGS SHALL GOVERN OVER THESE GENERAL NOTES.

STRUCTURAL DETAILS: THE STRUCTURAL DRAWINGS ARE INTENDED TO SHOW THE GENERAL CHARACTER AND EXTENT OF THE PROJECT AND ARE NOT INTENDED TO SHOW ALL DETAILS OF THE WORK

ARCHITECTURAL DRAWINGS: REFER TO THE ARCHITECTURAL DRAWINGS FOR INFORMATION INCLUDING, BUT NOT LIMITED TO: DIMENSIONS, ELEVATIONS, SLOPES, DOOR AND WINDOW OPENINGS, NON-BEARING WALLS, CURTAIN WALLS, STAIRS, ELEVATORS, CURBS, DRAINS, DEPRESSIONS, RAILINGS, WATERPROOFING, FINISHES AND OTHER NONSTRUCTURAL ITEMS.

STRUCTURAL RESPONSIBILITIES: THE EOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE PRIMARY STRUCTURE IN ITS COMPLETED STATE.

CONTRACTOR RESPONSIBILITIES: THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND ALL JOB RELATED SAFETY STANDARDS SUCH AS OSHA AND WSHA. THE CONTRACTOR IS RESPONSIBLE FOR THE STRENGTH AND STABILITY OF THE STRUCTURE DURING CONSTRUCTION AND SHALL PROVIDE TEMPORARY SHORING, BRACING AND OTHER ELEMENTS REQUIRED TO MAINTAIN STABILITY UNTIL THE STRUCTURE IS COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THE WORK REQUIRED IN THE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS FOR EXECUTING IT PROPERLY.

DISCREPANCIES: IN CASE OF DISCREPANCIES BETWEEN THESE GENERAL NOTES, THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND/OR REFERENCE PLANS FOR THE SPECIAL INSPECTION SCHEDULE FOR THIS PROJECT CONTAINING ALL INSPECTION, SPECIAL INSPECTION, AND REFERENCE STANDARDS, THE EOR SHALL DETERMINE WHICH SHALL GOVERN. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STRUCTURAL OBSERVATION REQUIREMENTS. THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE SHALL PREPARE A THE EOR BEFORE PROCEEDING WITH THE WORK. ACCORDINGLY, ANY CONFLICT IN OR BETWEEN THE CONTRACT DOCUMENTS SHALL NOT BE STATEMENT OF SPECIAL INSPECTIONS IN ACCORDANCE WITH SECTION 1704.3.1 FOR SUBMITTAL IN ACCORDANCE WITH SEC 1704.2.3. A BASIS FOR ADJUSTMENT IN THE CONTRACT PRICE.

SITE VERIFICATION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO FABRICATION AND/OR CONSTRUCTION. CONFLICTS BETWEEN THE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE EOR BEFORE PROCEEDING WITH THE WORK. ALL UNDERGROUND UTILITIES SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION OR DRILLING.

ADJACENT UTILITIES: THE CONTRACTOR SHALL DETERMINE THE LOCATIONS OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR PILE PLACEMENT. ANY UTILITY INFORMATION SHOWN ON THE DRAWINGS AND DETAILS IS APPROXIMATE AND NOT NECESSARILY COMPLETE.

DESIGN CRITERIA

CONSTRUCTION LOADS: LOADS ON THE STRUCTURE DURING CONSTRUCTION SHALL NOT EXCEED THE DESIGN LOADS OR THE CAPACITY OF THE PARTIALLY COMPLETED CONSTRUCTION.

SNOW LOAD: THE ROOF SNOW LOAD IS DETERMINE BY USING CHAPTER 7 OF ASCE 7-10 IN ACCORDANCE WITH IBC SECTION 1608 AND WITH THE FOLLOWING FACTORS:

MINIMUM ROOF DESIGN LOAD 25 PSF WITHOUT DRIFT GROUND SNOW LOAD, PG = 20 PSF IMPORTANCE FACTOR, IS = 1.0 FLAT ROOF SNOW LOAD, PF = 19 PSF THERMAL FACTOR, CT = 1.0

WIND DESIGN: WIND LOAD IS DETERMINED USING CHAPTER 27 OF ASCE 7-10 IN ACCORDANCE WITH IBC SECTION 1609 WITH THE FOLLOWING FACTORS:

BASIC WIND SPEED (3-SECOND GUST) WIND IMPORTANCE FACTOR IW = 1.0 EXPOSURE CATEGORY = B

V = 110 MPH RISK-CATEGORY = II $GCPI = \pm 0.18$

ANALYSIS PROCEDURE - ALL HEIGHTS PER ASCE 7, TABLE 27.2-1

SEISMIC DESIGN: EARTHQUAKE DESIGN IS DETERMINED USING CHAPTER 12 ASCE 7-10 IN ACCORDANCE WITH IBC CHAPTER 16 WITH THE FOLLOWING FACTORS:

IMPORTANCE FACTOR IE = 1.0 RISK CATEGORY= II

SS = 1.470 G S1 = 0.561 G SITE CLASS = D SDS = 0.980 G SD1 = 0.561 G SEISMIC DESIGN CATEGORY = D

WOOD STRUCTURE (SUPER-STRUCTURE)

- BASIC SEISMIC FORCE RESISTING SYSTEM: A-15 (BEARING WALL SYSTEMS) LIGHT-FRAMED WALLS WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE
- ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE, PER ASCE 7-10, SECTION 12.8

• R=6.5 • CS=0.15

DESIGN BASE SHEAR: DESIGN BASE SHEAR WIND, V = 11.7 (E-W), 11.5K (N-S)

|--|

| DEFLECTIONS: | |
|------------------------------------|------------------------|
| FLOOR TOTAL LOAD DEFLECTION LIMIT: | L/240 |
| FLOOR LIVE LOAD DEFLECTION LIMIT: | L/360 |
| ROOF TOTAL LOAD DEFLECTION LIMIT: | L/240 |
| ROOF LIVE LOAD DEFLECTION LIMIT: | L/360 |
| LIVE LOADS: | |
| ROOF (LIVE) | 20 PSF |
| ROOF (SNOW) | 25 PSF |
| BALCONIES AND DECKS | 1.5 X OCCUPANCY SERVED |

| D |
|---|
| S |
| A |
| |

DEFERRED SUBMITTAL LOADS: ALL PRE-ENGINEERED, PRE-FABRICATED, PRE-MANUFACTURED, OR OTHER PRODUCTS DESIGNED BY OTHERS SHALL BE DESIGNED FOR THE TRIBUTARY DEAD AND LIVE LOADS PLUS WIND, EARTHQUAKE, AND COMPONENT, AND CLADDING LOADS WHEN APPLICABLE. DESIGN SHALL CONFORM TO THE PROJECT DRAWINGS AND SPECIFICATIONS, REFERENCE STANDARDS, AND GOVERNING CODE.

GUARD RAILS

50 PLF OR 200 LB POINT LOAD (WHICHEVER PRODUCES LARGER FORCE EFFECTS)

DEFERRED SUBMITTALS: PER IBC SECTION 107.3.4.1, DRAWINGS, CALCULATIONS, AND PRODUCT DATA FOR THE DESIGN AND FABRICATION OF ITEMS THAT ARE DESIGNED-BY-OTHERS SHALL BEAR THE SEAL AND SIGNATURE OF THE WASHINGTON STATE REGISTERED PROFESSIONAL ENGINEER (SSE) WHO IS RESPONSIBLE FOR THE DESIGN AND SHALL BE SUBMITTED TO THE ARCHITECT/EOR AND THE BUILDING DEPARTMENT FOR REVIEW PRIOR TO FABRICATION. ALLOW ONE WEEK FOR EOR REVIEW TIME.

THE SSE SHALL SUBMIT STAMPED AND SIGNED CALCULATIONS AND SHOP DRAWINGS TO THE EOR FOR REVIEW. REVIEW OF THE SSE'S SHOP DRAWINGS IS FOR GENERAL COMPLIANCE WITH DESIGN CRITERIA AND COMPATIBILITY WITH THE DESIGN OF THE PRIMARY STRUCTURE AND DOES NOT RELIEVE THE SSE OF RESPONSIBILITY FOR THAT DESIGN. ALL NECESSARY BRACING, TIES, ANCHORAGE, AND PROPRIETARY PRODUCTS SHALL BE FURNISHED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS OR THE SSE'S DESIGN DRAWINGS AND CALCULATIONS. SUBMITTED DRAWINGS SHALL INDICATE ALL REACTION FORCES IMPARTED TO THE PRIMARY STRUCTURE. THE DESIGN OF THE CONNECTION TO THE PRIMARY STRUCTURE IS THE RESPONSIBILITY OF THE SUPPLIER AND SSE. SUBMITTED CALCULATIONS ARE FOR CURSORY REVIEW ONLY AND WILL GENERALLY NOT BE RETURNED. DEFERRED SUBMITTALS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

GUARD RAILS

NON-STRUCTURAL COMPONENTS: DESIGN, DETAILING AND ANCHORAGE OF ALL NONSTRUCTURAL COMPONENTS SHALL BE IN ACCORDANCE WITH ASCE 7-10, CHAPTER 13 AND THE PROJECT SPECIFICATIONS. NONSTRUCTURAL COMPONENTS DESIGNED BY OTHERS SHALL NOT INDUCE TORSIONAL LOADING INTO SUPPORTING STEEL STRUCTURAL MEMBERS WITHOUT ADDITIONAL BRACING OF THOSE MEMBERS TO ELIMINATE TORSIONAL FORCES. TORSIONAL BRACING SHALL BE DESIGNED BY THE NONSTRUCTURAL COMPONENT DESIGNER AND APPROVED BY THE EOR. ANCHORAGE TO THE PRIMARY STRUCTURE IS PER THE BIDDER-DESIGN CONTRACTOR OR SUPPLIER.

TESTS & INSPECTIONS

INSPECTIONS: ALL CONSTRUCTION IS SUBJECT TO INSPECTION BY THE BUILDING OFFICIAL IN ACCORDANCE WITH IBC SEC 110. THE CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS WITH THE BUILDING OFFICIAL. SUBMIT COPIES OF ALL INSPECTION REPORTS TO THE ARCHITECT/EOR FOR REVIEW. THE BUILDING OFFICIAL MAY ACCEPT INSPECTION OF AND REPORTS BY APPROVED INSPECTION AGENCIES IN LIEU OF BUILDING OFFICIAL'S INSPECTIONS. THE CONTRACTOR SHALL OBTAIN APPROVAL OF BUILDING OFFICIAL TO USE THE THIRD-PARTY INSPECTION AGENCY AND CONTRACTOR SHALL ALERT THE ARCHITECT/EOR AS SUCH.

SPECIAL INSPECTIONS: IN ADDITION TO THE INSPECTIONS REQUIRED BY IBC SEC 110, A SPECIAL INSPECTOR SHALL BE HIRED BY THE OWNER AS AN INDEPENDENT THIRD-PARTY INSPECTOR TO PERFORM THE SPECIAL INSPECTIONS PER IBC CH. 17. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN APPROVED TESTING AGENCY AS OUTLINED IN THE SPECIAL INSPECTION SCHEDULE, THE CONTRACT DOCUMENTS, AND/OR THE PROJECT SPECIFICATION. SPECIAL INSPECTIONS SHALL MEET THE REQUIREMENTS OUTLINES IN THE SPECIFIC MATERIALS SECTIONS OF IBC SEC 1705. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE INSPECTIONS, PER THE CITY/BUILDING OFFICIAL REQUIREMENTS.

SPECIAL INSPECTIONS SHALL BE PERFORMED FOR THE FOLLOWING:

CONCRETE

- PERIODIC INSPECTION OF REINFORCING STEEL AND CAST-IN-PLACE ANCHORS
- PERIODIC VERIFICATION OF THE USE OF THE REQUIRED DESIGN MIX.
- CONTINUOUS INSPECTION DURING THE SAMPLING OF FRESH CONCRETE AND DURING SLUMP, AIR CONTENT AND TEMPERATURE DETERMINATIONS.
- CONTINUOUS INSPECTION DURING THE PLACING OF REINFORCED CONCRETE.

SOILS & FOUNDATIONS

DURING DRIVING AND TESTING OF PILES.

DIAPHRAGMS: CONTINUOUS INSPECTION DURING FIELD GLUING OPERATIONS

- PERIODIC INSPECTION OF ANCHOR BOLTS, HOLD-DOWNS, DRAG STRUT CONNECTIONS, NAILING SIZE & SPACING.
- PERIODIC VERIFICATION OF MOISTURE CONTENT OF WOOD STUDS. PLATES. BEAMS. AND JOISTS.
- PREFABRICATED PANELIZED SHEAR WALLS TO PANELIZED SHEAR WALL CONNECTIONS.
- PERIODIC INSPECTION OF 2X AND 3X BOTTOM PLATES AND PLATE WASHERS.

SPECIAL CASES

CONTINUOUS INSPECTION OF POST-INSTALLED ANCHORS DURING INSTALLATION OF ANCHORS AND REINFORCING BARS INSTALLED IN HORIZONTAL OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. PERIODIC INSPECTION OF POST-INSTALLED ANCHORS DURING INSTALLATION OF ANCHORS AND REINFORCING BARS INSTALLED IN VERTICAL ORIENTATION.

PREFABRICATED CONSTRUCTION: ALL PREFABRICATED CONSTRUCTION SHALL CONFORM TO THE INSPECTION REQUIREMENTS OF THE SAME MATERIAL OR CONSTRUCTION TYPE USED FOR THIS PROJECT

SOILS AND FOUNDATIONS

REFERENCE STANDARDS: CONFORM TO IBC CHAPTER 18 "SOILS AND FOUNDATIONS."

GEOTECHNICAL REPORT: RECOMMENDATIONS CONTAINED IN "GEOTECHNICAL ENGINEERING REPORT JN 18194" BY GEOTECH CONSULTANTS INC, DATED MAY 1, 2018, AND WERE USED FOR DESIGN.

GEOTECHNICAL INSPECTION: SITE SOIL CONDITIONS, FILL PLACEMENT, AND LOAD-BEARING REQUIREMENTS SHALL BE AS REQUIRED BY SECTION 1705.6 AND TABLE 1705.6. ASSUMED VALUES SHALL BE FIELD VERIFIED BY THE BUILDING OFFICIAL OR THE GEOTECHNICAL ENGINEER PRIOR TO PLACING CONCRETE. THE BUILDING OFFICIAL SHALL BE PERMITTED TO WAIVE THE REQUIREMENT FOR A GEOTECHNICAL INVESTIGATION WHERE SATISFACTORY DATA FROM ADJACENT AREA IS AVAILABLE THAT DEMONSTRATES AN INVESTIGATION IS NOT NECESSARY FOR ANY OF THE CONDITIONS IN SECTIONS 1803.5.1 - 1803.5.6 AND SECTIONS 1803.5.10 - 1803.5.11.

SLABS-ON-GRADE & FOUNDATIONS: ALL SLABS-ON-GRADE AND FOUNDATIONS SHALL BEAR ON STRUCTURAL COMPACTED FILL OR COMPETENT NATIVE SOIL PER THE GEOTECHNICAL REPORT OR AS NOTED IN THESE DOCUMENTS. EXTERIOR PERIMETER FOOTINGS SHALL BEAR NOT LESS THAN 18 INCHES BELOW FINISH GRADE, OR AS REQUIRED BY THE GEOTECHNICAL ENGINEER AND THE BUILDING OFFICIAL. INTERIOR FOOTINGS SHALL BEAR NOT LESS THAN 12 INCHES BELOW FINISH FLOOR.

FOUNDATION STEM WALLS: UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE MAXIMUM UNBALANCED SOIL CONDITION FOR ALL FOUNDATION STEM WALLS (DIFFERENCE IN ELEVATION BETWEEN INTERIOR AND EXTERIOR SOIL GRADES) SHALL BE 2'-6". MAINTAIN A MINIMUM 8" SEPARATION BETWEEN FINISH GRADE AND UNTREATED WOOD FRAMING.

BACKFILLING: BACKFILL BEHIND RETAINING AND FOUNDATION WALLS SHALL BE OF FREE-DRAINING MATERIAL PLACED IN MAXIMUM LOOSE LIFTS OF 12" OR AS DIRECTED BY THE GEOTECHNICAL REPORT. BACKFILL BEHIND WALLS SHALL NOT BE PLACED BEFORE THE WALL IS PROPERLY SUPPORTED BY THE FLOOR SLAB OR TEMPORARY BRACING. BACKFILL SHALL BE COMPACTED USING HAND-OPERATED EQUIPMENT ONLY. THE CONTRACTOR SHALL REFRAIN FROM OPERATING HEAVY EQUIPMENT BEHIND RETAINING AND FOUNDATION WALLS WITHIN A DISTANCE EQUAL TO OR GREATER THAN THE HEIGHT OF THE WALL, UNLESS OTHERWISE APPROVED BY THE EOR. ALL TOPSOIL ORGANICS AND LOOSE SURFACE SOIL SHALL BE REMOVED FROM BENEATH FILL SUPPORTING CONCRETE SLAB OR PAVING.

PIN PILES

REFERENCE STANDARDS: CON (1) IBC SECTIONS 1810.3.5.3.4

MATERIALS: CONFORM TO NOT

SIZE: PILE SIZE SHALL BE AS CAPACITIES. PILE LENGTHS SH PROCEDURE.

CAPACITY: PILE CAPACITY FOR WITH ASTM SECTION S 114.5 "C THE DESIGN BEARING CAPA ENGINEER'S RECOMMENDATIO

CAST-IN-PLACE CONCRETE

REFERENCE STANDARDS: CON (1) ACI 318 "BUILDING CODE I (2) IBC CHAPTER 19.

FIELD REFERENCE: THE CONTR STRUCTURAL CONCRETE (ACI

CONCRETE MIXTURES: CONFO

MATERIALS: CONFORM TO ACI

SUBMITTALS: PROVIDE ALL SU

MEMBER

TYPE/LOCATION FOUNDATIONS - RESIDENTIAL FOOTINGS & STEM WALLS

FOUNDATIONS - RESIDENTIAL **RETAINING WALLS**

MIX DESIGN NOTES

| (1) | W/C RATIO: WATER-CEM |
|-----|----------------------|
| | NOT SHOWN IN THE TAB |

- (2) CEMENTITIOUS CONTENT a. THE USE OF FLY ASH
- FLY ASH SHALL BE 2 (1) AIR CONTENT: CONFORM USE EXPOSURE CATEGOR
- AT POINT OF PLACEMENT (2) EXPOSURE CLASSIFICATI
- EXPOSURE CLASSIFICATION (3) SLUMP: UNLESS OTHERW ADDITIONAL CRITERIA, RE

FORMWORK: CONFORM TO ACI STRENGTH INDICATED IN SEC

MEASURING, MIXING, AND DEL

HANDLING, PLACING, CONSTRU

EMBEDDED ITEMS: POSITIC NON-STRUCTURAL EMBEDI AND ARCHITECTURAL DRAY

TESTING AND ACCEPTANC TESTING: OBTAIN SAMPLE OBTAIN CONCRETE STREN

 CURE 4 CYLINDERS POST-TENSIONED CO **RESERVE FOR USE** CYLINDER MAY BE D

ACCEPTANCE: STRENGTH IS SA THE AVERAGES OF A **BELOW THE SPECIFI**

CYLINDERS TESTED

CONCRETE REINFORCEMENT

REFERENCE STANDARDS: CON

- (1) ACI 301 "STANDARD SPEC
- (2) IBC CHAPTER 19, CONCRE
- (3) ACI 318 AND ACI 318R.
- (4) ACI SP-66 "ACI DETAILING
- (5) CRSI MSP-2 "MANUAL OF (6) ANSI/AWS D1.4 "STRUCTU

SUBMITTALS: CONFORM TO AC DIMENSIONS AND LOCATIONS

MATERIALS:

REINFORCING BARS SMOOTH WELDED WIRE FABRIC DEFORMED WELDED WIRE FAB BAR SUPPORTS TIE WIRE

FABRICATION: CONFORM TO A

PLACING: CONFORM TO ACI 30

| | | | | | | RS | NNING PLACE 98072 |
|--|--|---|---|--|---|------------------|---|
| Form to: I. | | | | | | ENGINEERS | PLAN 98TH WA |
| ES FOR STRUCTU | JRAL STEEL, | THIS SHEET. | | | | | VILL AN |
| | | | | | PROJECT TO VERIFY PIL R DURING THE TEST PIL | E | DESIGN AND 17848 NE 19 WOODINVILLE, |
| QUICK LOAD TEST | ." PILE INSTA | LLATION MUST BE OBS | ERVED BY THE GEO | TECHNICAL E | AD TESTS IN ACCORDANC INGINEER TO VERIFY THA TO THE GEOTECHNICA | AT | |
| | | ONS OF THE FOLLOWING | | | | | |
| | | OF ACI FIELD REFERENC ASTM REFERENCES." | CE MANUAL, SP-15, "S | STANDARD SF | PECIFICATIONS FOR | < | 5 |
| RM TO ACI 318 CH | IAPTER 19 "Co | ONCRETE: DESIGN AND | DURABILITY REQUI | REMENTS." | | - | |
| 318 CHAPTERS 19 | 8 20. | | | | | OUND | |
| BMITTALS REQUIR | RED BY ACI 30 |)1 SEC 4.1.2. SUBMIT MI) | K DESIGNS FOR EAC | H MIX IN THE | TABLE BELOW. | | 8 8 |
| TA STRENGTH (PSI) 3500 | | DESIGN REQUIREMENTS MAXIMUM AGGREGATE | S EXPOSURE CLASSIFICATION F1, C0 | MAX W/C RATIO 0.45 | MINIMUM AIR CONTENT 4.5% | | PT. COMMENT |
| 4500 | 20 28 | 1" 1" | F1, C0 F2, C0 | 0.45 | 4.5% 6.0% | | BLDG. DPT |
| | | HALL BE BASED ON THE / STRENGTH REQUIREM | | CEMENTITIOU | JS MATERIALS. RATIOS | 9/201 | /26/2018 |
| 0% OF TOTAL CEN TO ACI 301 SEC 4 RY F0, S0, W0, ANI ON: THE MIX DESI ON INDICATED IN ISE SPECIFIED OF FERENCE ACI 30 | MENTITIOUS (.2.2.4. HORIZ(D C0 UNLESS GN PROVIDEI THE TABLE A R PERMITTED 1 SEC 4.2.2.2. | CONTENT UNLESS REVII ONTAL EXTERIOR SURF NOTED OTHERWISE. TO D SHALL MEET THE REC BOVE. , CONCRETE SHALL HAV | EWED AND APPROVI ACES IN CONTACT V OLERANCE IS +/- 1.5 QUIREMENTS OF ACI VE AT THE POINT OF | ED OTHERWIS VITH THE SOIL %. AIR CONTE 318 CHAPTEF DELIVERY, A | REQUIRE ENTRAINED AI NT SHALL BE MEASURED 19, BASED ON THE SLUMP OF 4" +/- 1". FOR | T Land | ALLOSHBO NOFWASHING S3214 ALCONTRACTOR |
| 301 SEC 2 "FORM 2.3.2.5 SHALL BE 0 | - | ORM ACCESSORIES." R | EMOVAL OF FORMS | SHALL CONF | ORM TO SEC 2.3.2 EXCEP | Т | |
| VERY: CONFORM | TO ACI 301 S | EC 4.3. | | | | (| 0 |
| JCTING, AND CUR | ING: CONFOR | RM TO ACI 301 SEC 5. | | | | | 080 |
| DED ITEMS BEFOR | RE PLACING C | ANSION JOINT MATERIA CONCRETE. CONTRACTO OTHER EMBEDDED ITEN | OR SHALL REFER TO | | URAL AND _, ELECTRICAL, PLUMBING | э, (| and, wa NOTES |
| | | CORDANCE WITH ACI 301 | | onal Sample | ES MAY BE REQUIRED TO | N S S | |
| ONCRETE ONLY, 1 AS THE EOR DIRE | TEST Ì CYLINI CTS. AFTER 5 | NDERS FOR POST-TENS DER AT 7 DAYS, TEST 2 6 DAYS, UNLESS NOTIF STED FOR SPECIMENS | CYLINDERS AT 28 D IED BY THE EOR TO | AYS, AND HOL THE CONTRAI | RY, THE RESERVE | | , ME RUC |
| ED STRENGTH BY AT THE SPECIFIE | NSECUTIVE T MORE THAN | TESTS EQUAL OR EXCEE | | |) INDIVIDUAL TEST FALLS RENGTH OF THE TWO | DEH DEH | MERCER W ENERAL |
| FORM TO: SIFICATIONS FOR S STE. | STRUCTURAL | . CONCRETE."SEC 3" RE | INFORCEMENT, AND | REINFORCEN | IENT SUPPORTS." | 1 | 653 W G |
| MANUAL" INCLUD STANDARD PRAC ⁻ RAL WELDING CO | TICE." | DETAILS AND DETAILING | G OF CONCRETE RE | INFORCEMEN | Т." | RE | EVIEWED OR CODE MPLIANCE |
| | , | DATA, AND DRAWINGS." CEMENT AND REINFORC | | | WING FABRICATION | Janu | ary 23, 2019 |
| | ASTM A6 | 615, GRADE 60, DEFORM | IED BARS. | | | BJL | BJL |
| C RIC | ASTM A1 ASTM A4 | | | | | SCALE: BAR =1 | AS SHOWN 1" |
| | CRSI MS | P-2, CHAPTER 3 "BAR SI GE OR HEAVIER, BLACK | | | | FULL S | |
| CL301_SEC 3 2 2 " | | I," AND ACI SP-66 "ACI DI | | | | DATE: | 12/26/2018 |
| | | CING TOLERANCES SHA | | ייידיי 4 ט א ווידטי | ERANCES " | JOB NO | D: 18–038 |
| , OLO J.J.Z FLAU | CIVILINI. FLA | | | J.J.Z.T TUL | | SHEET: | 1 OF 11 |

DWG NO:

S100

| | MENT SCHEDULE (CC | NCRETE STRENGTH F | 'C = 2500 & GRE | ATER) |
|---|---|---|--|--|
| BAR DESIGNATIO | | ENGTH, LS | | ENT LENGTH, LD |
| #4 NWF | 32" 8" ON | ALL SIDES AND EDGE | 24" S | |
| | | 1 SEC 3.3.2.8. "FIELD B RE PREHEATING. DO N | | RAIGHTENING." BAR SIZES #3 THROUGH #5 MAY BE FIELD BENT COLD |
| - | | | | DRIZONTAL WALL AND FOOTING BARS WITH THE APPROPRIATE |
| SPLICE LENGTH | | | | |
| STRUCTURAL ST | | | | |
| DESIGN STANDA CONSTRUCTION | | ITEEL FOR THIS PROJE | ECT IS DESIGNE | D IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC STEEL |
| AISC "CODI RCSC "SPE AWS D1.1 " AWS D1.3 " AWS D1.8 " AWS D1.8 " | CIFICATION FOR STR STRUCTURAL WELDII STRUCTURAL WELDII STRUCTURAL WELDII SEISMIC PROVISIONS | CTICE FOR STEEL BUI UCTURAL JOINTS USII | NG ASTM A325 C EL." JPPLEMENT." EEL BUILDINGS. | R A490 BOLTS." |
| MATERIALS: BARS & PLATES | | лстм | A36, FY = 36 KS | |
| STEEL PIPE | AL TUBING | ASTM | A53, GRADE B, I A500, GRADE B, | FY = 35 KSI |
| ANCHOR BOLTS NUTS | & BOLTS IN WOOD | ASTM ASTM | | A194, GRADE 2H |
| | (HOOKED, HEÁDED, T | ASTM HREADED/NUTTED)AS | TM F1554, GRAD | |
| THREADED ROD WELDING ELECT CONCRETE SCR | RODES | E70XX | A36, FY = 36 KS , 70 KSI, LOW H ON TITEN HD | /DROGEN, TYPICAL |
| WELDING: C | ONFORM TO AWS D1 | | RS SHALL BE CE | RTIFIED IN ACCORDANCE WITH AWS AND WABO REQUIREMENTS. |
| AISC CODE S | SEC 8 "QUALITY CON" | rol." The Fabricat(Ll of the work is pe | OR AND ERECTO | FABRICATION," AISC CODE SEC 6 "FABRICATION AND DELIVERY" AND OR SHALL MAINTAIN A QUALITY CONTROL PROGRAM TO THE EXTENT CCORDANCE WITH THIS CODE, THE AISC SPECIFICATION, CONTRACT |
| CONCRETE, SLIP-CRITIC/ EXPOSED E> SPECIFICATI | FIREPROOFED, OR C AL BOLTS ARE SPECI (TERIOR STEEL SHAL IONS. FIELD TOUCH-L | ONCEALED BY THE IN FIED. ALL OTHER INTE L BE PAINTED WITH A | TERIOR BUILDIN RIOR STEEL SHA N EXTERIOR MU WITH PRIMER F | AND AISC CODE SEC 6.5. DO NOT PAINT STEEL TO BE EMBEDDED IN IG FINISH. DO NOT PAINT SURFACES TO BE FIELD WELDED OR WHERE ALL BE PAINTED WITH ONE COAT OF GREY SHOP PRIMER. ALL LTI-COAT SYSTEM AS PER THE ARCHITECT OR PROJECT FOR EXPOSED INTERIOR SURFACES AND AS PER THE ARCHITECT OR |
| | <u>G</u> : ALL EXPOSED STE ECIFICATIONS. | EL OUTSIDE THE BUIL | DING ENVELOPE | SHALL BE HOT-DIPPED GALVANIZED. APPLY FIELD TOUCH-UPS PER |
| STEEL ROOF | AND FLOOR DECK | | | |
| | <u>/ING</u> | | | |
| IBC CHAPT NDS AND N ANSI/TPI 1 | "NATIONAL DESIGN S | IATIONAL DESIGN SPE | -PLATE-CONNEC | R WOOD CONSTRUCTION." CTED WOOD TRUSS CONSTRUCTION." |
| | | AND PRE-MANUFACTU) BY THE CERTIFYING | | DUCTS SHALL BE IDENTIFIED BY THE GRADE MARK OR A |
| MATERIALS: | | | | |
| | CONFORM TO GRADI AL WALLS ONLY. | NG RULES OF WWPA, | WCLIB, OR NLGA | A. FINGER JOINTED STUDS ACCEPTABLE AT INTERIOR |
| MEMBER USE STUDS & PLATES | SIZE 5 2X4,3X4,2X6,3X6 | SPECIES DF | GRADE NO. 1 | |
| POSTS JOISTS | 4X4, 4X6, 4X8 2X6 2X12 | DF HF | NO. 1 & BTF NO. 2 | R |
| BEAMS BEAMS | 4X8 4X12 6X8 6X12 | DF DF | NO. 1 NO. 1 | |
| POSTS P.T. | 6X6 FRAMING | DF - | NO. 1 HF | NO. 2 |
| | | | | ROOFS. IT IS TO BE LAID WITH PATTERN FACES DOWN. EACH PIECE (1)16D COMMON NAIL AND FACE NAILED AT EACH SUPPORT WITH |
| SHOULD BE TOE (1)16D COMMON | | STHS AND MOISTURE (| | BE IN CONFORMANCE WITH THE AITC 112 "STANDARD FOR |

WITH 8" SPIKES AT INTERVALS NOT TO EXCEED 30" THROUGH PREDRILLED EDGE HOLES AND WITH ONE SPIKE AT A DISTANCE NOT EXCEEDING

10" FROM EACH END OF EACH PIECE. DECKING LENGTHS AND MOISTURE CONTENT MUST CONFORM TO THE AITC 112 "STANDARD FOR

TONGUE-AND-GROOVE HEAVY TIMBER ROOF DECKING."

| /IEMBER USE | SIZE | SPECIES | GRADE |
|-------------|--------------|----------------|------------|
| &G DECKING | 3X6, 4X6 LAM | DOUG-FIR-LARCH | COMMERCIAL |

GLUED LAMINATED TIMBER: CONFORM TO AITC 117 "STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED TIMBER OF SOFTWOOD SPECIES, MANUFACTURING AND DESIGN" AND ANSI/AITC A190.1 "STRUCTURAL GLUED LAMINATED TIMBER." GLUED LAMINATED MEMBER BEAMS SHALL NOT BE CAMBERED, UNLESS SHOWN OTHERWISE ON THE PLANS OR SPECIFICATIONS.

| MEMBER USE | SIZES | SPECIES | STRESS CLASS | USES |
|------------|-------|---------|--------------|-----------|
| BEAMS | ALL | DF/DF | 24F-V8 | ALL SPANS |

WOOD STRUCTURAL SHEATHING (PLYWOOD): WOOD APA-RATED STRUCTURAL SHEATHING INCLUDES: ALL VENEER PLYWOOD, ORIENTED STRAND BOARD, WAFERBOARD, PARTICLEBOARD, T1-11 SIDING, AND COMPOSITES OF VENEER AND WOOD BASED MATERIAL. CONFORM TO PRODUCT STANDARDS PS-1-95 AND PS-2-92 OF THE U.S. DEPT. OF COMMERCE AND THE AMERICAN PLYWOOD ASSOCIATION (APA)

| | MINIM | IUM APA RATING | |
|------------|----------------------|---|---|
| THICKNESS | SPAN RATING | PLYWOOD GRADE | EXPOSURE |
| 15/32" | 24/16 | C-D | 1 |
| 23/32" T&G | 24 OC | STURD-I-FLOOR | 1 |
| 15/32" | 32/16 | C-D | 1 |
| | 15/32" 23/32" T&G | THICKNESS SPAN RATING 15/32" 24/16 23/32" T&G 24 OC | 15/32" 24/16 C-D 23/32" T&G 24 OC STURD-I-FLOOR |

JOIST HANGERS AND CONNECTORS: SIMPSON STRONG-TIE COMPANY INC. AS SPECIFIED IN THEIR LATEST CATALOGS WAS USED AS THE BASIS OF DESIGN FOR THIS PROJECT. ALTERNATE CONNECTORS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THEY HAVE CURRENT ICC-ESR/IAPMO-ER APPROVAL FOR EQUIVALENT OR GREATER LOAD CAPACITIES AND ARE REVIEWED AND APPROVED BY THE EOR PRIOR TO ORDERING. CONNECTORS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE 1/2 OF THE NAILS OR BOLTS IN EACH MEMBER. UNLESS NOTED OTHERWISE ALL NAILS SHALL BE FULL LENGTH COMMON. NAIL STRAPS TO WOOD FRAMING AS LATE AS POSSIBLE IN THE FRAMING PROCESS TO ALLOW THE WOOD TO SHRINK AND THE BUILDING TO SETTLE.

NAILS AND STAPLES: CONFORM TO IBC SEC 2303.6 "NAILS AND STAPLES." UNLESS NOTED ON PLANS, NAIL PER IBC TABLE 2304.10.1. UNLESS NOTED OTHERWISE ALL NAILS SHALL BE COMMON. NAIL SIZES SPECIFIED ON THE DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

| OMMON NAILS | | |
|-------------|--------|----------|
| IZE | LENGTH | DIAMETER |
| D | 2-1/2" | 0.131" |
| 0D | 3" | 0.148" |
| 6D | 3-1/2" | 0.162" |
| 6D SINKER | 3-1/4' | 0.148" |
| | | |

LAG BOLTS/BOLTS: CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

WOOD HOLDOWNS: HOLDOWNS SPECIFIED ARE AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY INC. ADDITIONAL FRAMING MEMBERS SHALL BE PROVIDED PER THE MANUFACTURER'S REQUIREMENTS. ACCEPTABLE EQUIVALENT PRODUCT SUBSTITUTIONS ARE AVAILABLE FROM OTHER MANUFACTURERS WITH EOR APPROVAL. DO NOT COUNTERSINK HOLDOWN BOLTS.

ENGINEERED WOOD PRODUCTS (EWP): THE FOLLOWING MATERIALS ARE BASED ON LUMBER MANUFACTURED BY [TRUSJOIST BY WEYERHAEUSER, REDBUILT]. TRUS-JOIST BY WEYERHAEUSER WAS USED AS THE BASIS OF DESIGN FOR THIS PROJECT. ALTERNATE PRODUCTS BY OTHER MANUFACTURERS MAY BE SUBSTITUTED PROVIDED THEY HAVE CURRENT ICC-ESR/IAPMO-ER APPROVAL FOR EQUIVALENT OR GREATER LOAD AND STIFFNESS PROPERTIES AND ARE REVIEWED AND APPROVED BY THE EOR. A HUD MATERIAL RELEASE FORM IS REQUIRED FOR ALL MANUFACTURED WOOD PRODUCTS LISTED BELOW.

- A) LAMINATED VENEER LUMBER (LVL): CONFORM TO ICC ES REPORT NO. [ESR-1387], CCMC REPORT NO. [12627-R], OR NES REPORT NO. NER-481.
- B) PARALLEL STRAND LUMBER (PSL): CONFORM TO ICC ES REPORT NO. ESR-1387, CCMC REPORT NO. 11161-R, OR NES REPORT NO. NER-481. USE 2.0E UNLESS NOTED OTHERWISE.
- C) LAMINATED STRAND LUMBER (LSL): CONFORM TO ICC ES REPORT NO. ESR-1387, CCMC REPORT NO. 12627-R, OR NES REPORT NO. NER-481.

NAILING REQUIREMENTS: PROVIDE MINIMUM NAILING IN ACCORDANCE WITH IBC TABLE 2304.10.1 "FASTENING SCHEDULE" EXCEPT AS NOTED ON THE DRAWINGS. NAILING FOR ROOF/FLOOR DIAPHRAGMS/SHEAR WALLS SHALL BE PER DRAWINGS. NAILS SHALL BE DRIVEN FLUSH AND SHALL NOT FRACTURE THE SURFACE OF SHEATHING.

STANDARD LIGHT-FRAME CONSTRUCTION: UNLESS NOTED ON THE DRAWINGS, CONSTRUCTION SHALL CONFORM TO IBC SEC 2308 "CONVENTIONAL LIGHT-FRAME CONSTRUCTION" AND IBC SEC 2304 "GENERAL CONSTRUCTION REQUIREMENTS."

(1) WALL FRAMING (UNLESS NOTED OTHERWISE ON PLANS AND DETAILS) ALL INTERIOR WALLS SHALL BE 2X4 @ 16"OC AND ALL EXTERIOR WALLS SHALL BE 2X6 @ 16"OC. PROVIDE (2) BUNDLED STUDS MIN AT WALL ENDS AND EACH SIDE OF ALL OPENINGS. ALL SOLID SAWN LUMBER BEAMS AND HEADERS SHALL BE SUPPORTED BY A MINIMUM OF (1) TRIM AND (1) KING STUD AND ALL GLULAM OR ENGINEERED WOOD BEAMS AND HEADERS BY (2) TRIM AND (2) KING STUDS. PROVIDE MINIMUM [(2) 2X8, 4X6] HEADERS AT ALL INTERIOR AND EXTERIOR WALL OPENINGS. STITCH-NAIL BUNDLED STUDS WITH (2) 10D @ 12"OC. PROVIDE SOLID BLOCKING THRU FLOORS TO SUPPORTS BELOW FOR BEARING WALLS AND POSTS. ATTACH BOTTOM PLATES OF STUD WALLS TO WOOD FRAMING BELOW WITH 16D @ 12"OC OR TO CONCRETE WITH 5/8"-DIA. ANCHOR BOLTS X 7" EMBEDMENT AT 48"OC. REFER TO SHEAR WALL SCHEDULE FOR SPECIFIC SHEATHING, STUD, AND NAILING REQUIREMENTS AT SHEAR WALLS. PROVIDE GYPSUM SHEATHING ON INTERIOR SURFACES AND PLYWOOD SHEATHING ON EXTERIOR SURFACES.

MOISTURE CONTENT: WOOD MATERIAL USED FOR THIS PROJECT SHALL HAVE MAXIMUM MOISTURE CONTENT OF 19% EXCEPT FOR THE PRESSURE-TREATED WOOD SILL PLATE.

PRESERVATIVE TREATMENT: WOOD MATERIALS ARE REQUIRED TO BE "TREATED WOOD" UNDER CERTAIN CONDITIONS IN ACCORDANCE WITH IBC SEC 2304.12 "PROTECTION AGAINST DECAY AND TERMITES." CONFORM TO THE APPROPRIATE STANDARDS OF THE AMERICAN WOOD-PRESERVERS ASSOCIATION (AWPA) FOR SAWN LUMBER, GLUED LAMINATED TIMBER, ROUND POLES, WOOD PILES, AND MARINE PILES. FOLLOW AMERICAN LUMBER STANDARDS COMMITTEE (ALSC) QUALITY ASSURANCE PROCEDURES. PRODUCTS SHALL BEAR THE APPROPRIATE MARK.

METAL CONNECTORS/PT WOOD: ALL METAL HARDWARE AND FASTENERS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE STAINLESS STEEL TYPE 316L. AT THE OWNER'S RISK AND DISCRETION, HOT-DIPPED GALVANIZED METAL HARDWARE AND FASTENERS MAY BE INVESTIGATED FOR USE IN LIEU OF STAINLESS STEEL PROVIDED THAT THE FINISH HAS A MINIMUM ZINC CONTENT OF AT LEAST 1.85 OZ./SF AND ITS USE IS COORDINATED BY THE CONTRACTOR AND WOOD SUPPLIER FOR THE EXPECTED ENVIRONMENT AND MOISTURE EXPOSURE FOR APPROPRIATE USE BASED ON THE METHOD OF PRESERVATIVE TREATMENT OF THE WOOD.

RENOVATION

DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

GENERAL WOOD REMEDIATION GUIDELINES

CONTACT EOR FOR FURTHER INSTRUCTIONS IF WOOD DECAY IS ENCOUNTERED DURING DEMOLITION PROCESS.

| I 2 ENGINFERS | DESIGN AND PLANNING | 17848 NE 198TH PLACE | WOODINVILLE, WA 98072 |
|---|---|----------------------------|-----------------------|
| DATE REVISION 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 | VOLSES AND 2 2018 BLDG. DPT. COMMENTS ROUND 2 2 | S H BOCINI | |
| CO Jan CHK BJL | E SA MERCER WAY, MERCER ISLAND, WA 98040 | CODE COPY DRW BJL | |
| FULL DATE: JOB N SHEET DWG | 1 NO: T: 2 | | -038 |

| | | | | S | | ALL SCHE | DULE | | | | |
|---------|----------------------------|--------------|---|-------------------------------|-----------------------------------|----------------------|-------|---------------------------------------|-----------------------------|----------------------|------|
| SW TYPE | WALL SHETHING APA RATED | EDGE NAILING | BOTTOM PLATE ATTACHMENT | FRAMING CLIP TO WALL BELOW | MINIMUM RIM BOARD THICKNESS | D DANEL EDGES AT ALL | | ANCHOR BOLT TO CONCRETE FOUNDATION | SILL PLATE AT FOUNDATION | ALLOWABLE CAPACIT | |
| | | | | | FANEL EDGES | | | SEISMIC | WIND | | |
| | | | • | | SI | NGLE-SIDED | | | | | |
| SW-6 | 15/32" | 8d @ 6"OC | 16d SINKER @ 5"OC | LTP5 @ 18"0C | 1 1/4" | 2x | 2x | 5/8"Ø @ 48"OC | P.T. 2x | 310 | 435 |
| 511 0 | 10/ 02 | | TOU SINKER @ 5 00 | | 1 1/4 ZX | | 27 | 5/8"Ø @ 60"OC | P.T. 3x | 510 | 400 |
| <u></u> | 15 /70" | | (2) ROWS 16d | | 4 7 / 4 33 | | | 5/8"Ø @ 32"OC | P.T. 2x | 100 | 045 |
| SW-4 | 15/32" | 8d @ 4"OC | SINKER @ 6"OC, STAGGERED | LTP5 @ 12"OC | 1 3/4 | 1 3/4" 2x | 2x 2x | 5/8"Ø @ 40"OC | P.T. 3x | - 460 | 645 |
| 2SW-3 | 15/32" BOTH SIDES | 8d @ 3"OC | (3) ROWS 16d SINKER @ 4"OC, STAGGERED | LTP5 @ 8"OC & A35 @ 8"OC | 3 1/2" | 3x | 3x | 5/8"Ø @ 16"OC | P.T. 3x | 1200 | 1680 |

NOTES

- 1. ALL NAILS ARE COMMON, UNO. REFERENCE GENERAL STRUCTURAL NOTES FOR NAIL DIAMETER AND LENGTH.
- REFERENCE SHEAR WALL KEY DETAIL FOR DESCRIPTION OF TERMS.
- PROVIDE SHEAR WALL SHEATHING AND NAILING FOR ENTIRE LENGTH OF THE WALLS INDICATED ON THE PLANS. ENDS OF SHEAR WALLS ARE TYPICALLY AT WINDOWS, DOORWAYS OR AS SHOWN ON PLAN.
- 4. EDGE NAILING IS REQUIRED AT ALL HOLDOWN POSTS. EDGE NAILING IS REQUIRED TO EACH STUD USED IN
- BUILT-UP HOLDOWN POSTS. REFERENCE HOLDOWN SCHEDULE & DETAILS FOR ADDITIONAL INFORMATION. 5. INTERMEDIATE FRAMING TO BE 2x MINIMUM MEMBERS UNO IN SCHEDULE. ATTACH SHEATHING TO INTERMEDIATE FRAMING WITH EDGE NAILING AT 12"OC WHERE STUDS ARE SPACED AT/16"OC AND EDGE NAILING AT 6"OC WHERE STUDS ARE SPACED AT 24"
- (6. SIMPSON STRONG-TIE "A35" MAY BE USED IN LIEU OF "LTP5." ("LTP5") CLIPS SHALL BE ORIENTED LENGTHWISE) (HORIZONTAL) AT PLATE TO RIM. USE 0.131 $\% \times 1\frac{1}{2}$ NAILS WHERE "LTP" TYPE CLIPS ARE ATTACHED DIRECTLY TO FRAMING AS OPPOSED TO OVER SHEATHING. USE 0.131 $\% \times 2\frac{1}{2}$ NAILS WHERE "LTP" TYPE CLIPS ARE INSTALLED OVER SHEATHING. REFERENCE DETAIL 2/S102 FOR CLARIFICATION.
- 7. (2) 2x STUDS NAILED TOGETHER MAY BE USED IN PLACE OF SINGLE 3x STUD. DOUBLE 2x STUDS SHALL BE SECURED TOGETHER WITH FASTENERS OF THE SAME DIAMETER AND SPACING AS THE BOTTOM PLATE ATTACHMENT PER SCHEDULE.
- 8. WHERE SHEATHING IS APPLIED ON BOTH SIDES OF A SHEAR WALL AND NAIL SPACING IS LESS THAN 6"OC ON EITHER SIDE, THE WIDTH OF THE NAILED FACE OF THE FRAMING MEMBER SHALL BE 3" NOMINAL OR GREATER AT ADJOINING PANEL EDGES AND NAILS AT ALL PANEL EDGES SHALL BE STAGGERED. ALTERNATIVELY, PANELS SHALL BE STAGGERED SO THAT EDGE JOINTS ON OPPOSITE SIDES ARE NOT LOCATED ON THE SAME STUD.
- 9. ANCHOR BOLTS SHALL BE PROVIDED WITH HOT-DIPPED GALVANIZED STEEL PLATE WASHERS PER DETAILS ON DRAWINGS. EMBED ANCHOR BOLTS 7" MINIMUM INTO THE CONCRETE PROVIDE AN ANCHOR BOLT AT EACH END OF EACH PLATE AND SHALL BE AT LEAST 7 TIMES THE ANCHOR BOLT DIAMETER FORM THE ENDS OF THE plate, but not more than $\frac{1}{2}$ the tabulated anchor bolt spacing or 12", whichever is less. See ANCHOR BOLT DETAIL FOR PLATE WASHER REQUIREMENTS. [ALT: $\frac{5}{8}$ " \emptyset X8" TITEN HD ANCHOR SCREWS MAY BE USED IN LIEU OF ANCHOR BOLTS AT EXISTING CONCRETE, WITH PLATE WASHER & SPACING REQUIREMENTS PER SCHEDULE.]
- 10. PROVIDE HOT-DIPPED GALVANIZED NAILS AND CONNECTOR PLATES (FRAMING ANGLES, ETC.) AT ALL PRESSURE TREATED LUMBER. REFERENCE GENERAL STRUCTURAL NOTES FOR ADDITIONAL INFORMATION.
- 11. PANELS MAY BE INSTALLED HORIZONTALLY IF STUDS ARE SPACED AT 16"OC MAX.
- 12. STAGGER EDGE NAILING.
- 13. THE TOP EDGE OF THE WOOD STRUCTURAL PANEL SHALL BE ATTACHED TO THE UPPER TOP PLATE. ROOF OR UPPER LEVEL UPLIFT CONNECTORS SHALL BE ON THE SAME SIDE OF THE WALL AS THE SHEATHING.
- 14. THE BOTTOM EDGE OF THE WOOD STRUCTURAL PANEL SHALL EXTEND TO AND BE ATTACHED TO THE BOTTOM OR SILL PLATE.
- 15. REFERENCE DETAIL BELOW FOR STAGGERED NAIL AND SCREW SPACING AT RIM BOARDS.

| 16. | WALL | TYPE | ACCEPTABLE | WITH | TRUSJOIST | AND | BOISE | CASCADE | RIM | JOIST | AND | BLOCKING. |
|-----|------|------|------------|------|-----------|-----|-------|---------|-----|-------|-----|-----------|
| | | | | | | | | | | | | |

| HOLDOWN SCHEDULE (HF-SEISMIC) | | | | | | | |
|----------------------------------|-------------|---------------------------|--------|------------------|----------------------|--------------------|--|
| MARK | MODEL # | ALLOWABLE UPLIFT (LBS) | | MIN END STUDS | STUD FASTENERS | CONCRETE ANCHOR | |
| | | MID WALL | CORNER | END WALL | | | |
| 1 | HDU2-SDS2.5 | 2215 | | (2) 2x | (6) 1/4"øx2 1/2"SDS | SSTB16 | |
| 2 | HDU8-SDS2.5 | 5665 | | (3) 2x | (20) 1/4"øx2 1/2"SDS | SSTB28 | |

REFERENCE FOUNDATION PLAN NOTE 1 FOR HOLDDOWNS AT EXISTING FOUNDATION LOCATIONS

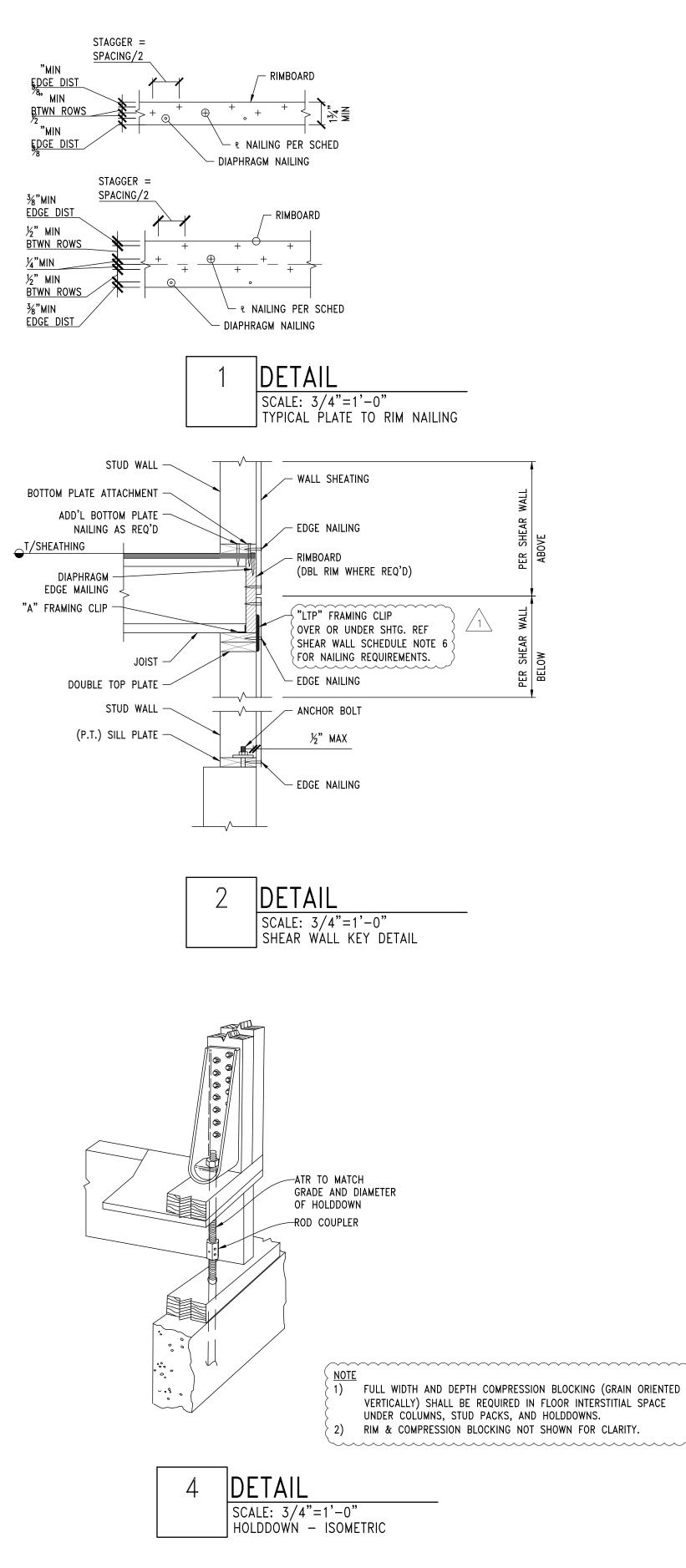
2. HOLDDOWNS SPECIFIED ARE BY SIMPSON STRONGTIE

3. REFERENCE PLANS FOR ADDITIONAL STUD REQUIREMENTS WHERE OCCUR

4. PROVIDE 1/4" X 3" SQ PLATE WASHER BETWEEN STANDARD DOUBLE NUTS. EMBED LENGTH EQUAL TO TOP OF CONCRETE DOWN TO TOP OF PLATE WASHER

5. INCREASE FOOTING DEPTH LOCALLY AS REQUIRED TO ACHIEVE REQUIRED EMBEDMENT DEPTH AS SPECIFIED BY HOLDDOWN MANUFACTURER

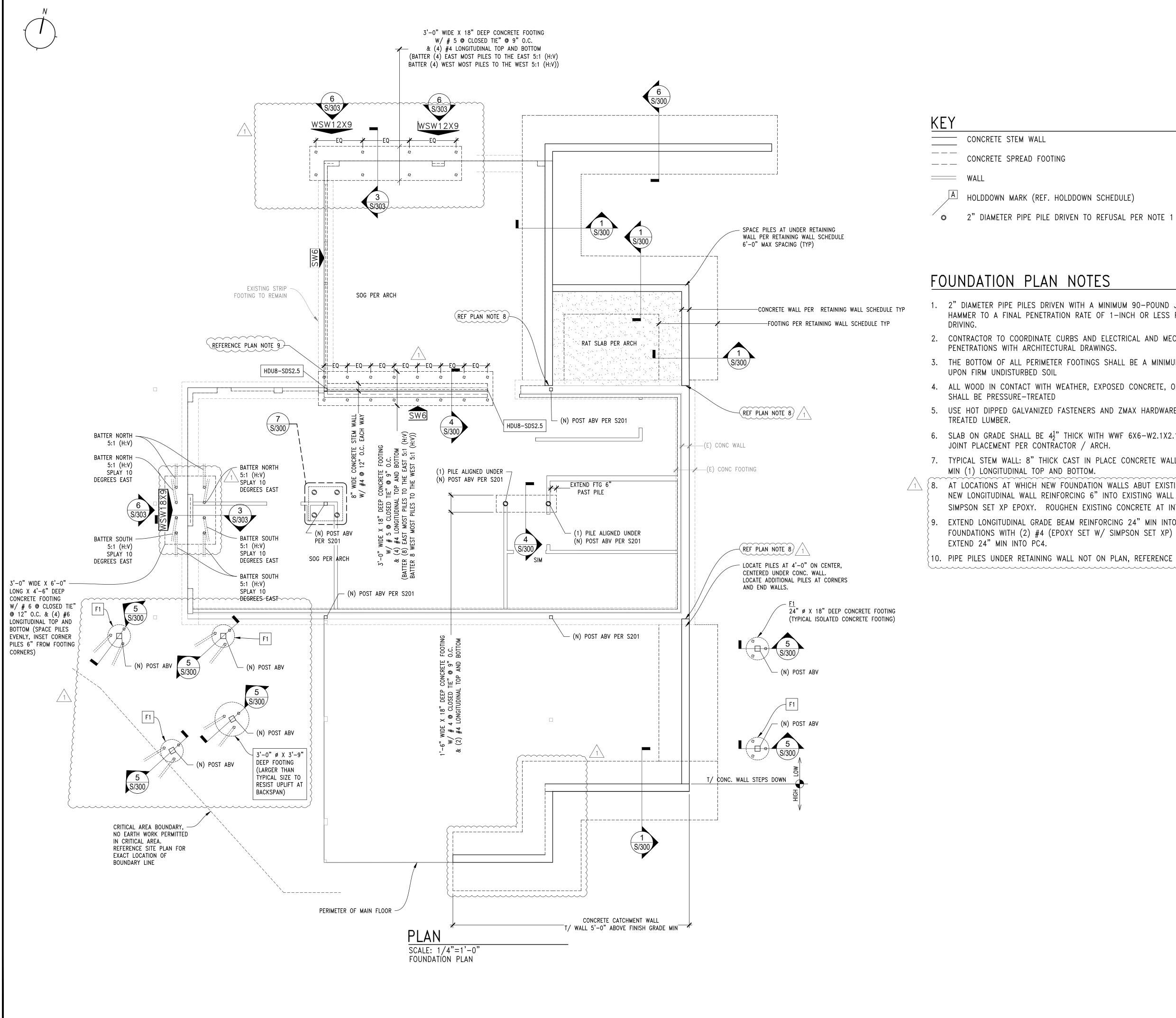
6. AT POST INSTALL HDU8 LOCATION, EPOXY SET F1554 GRADE 36 X 7/8" DIAMETER X 18" LONG ALL THREAD ROD WITH SIMPSON SET XP.



POST PER PLAN HOLDDOWN PER PLAN, INSTALL PER MFR INSTRUCTIONS (HHDQ11 SHOWN) ▆╊╋╢── \mathbf{A} EMBEDMENT LINE (TOP OF CONC) ANCHOR PER PLAN AND HOLDDOWN SCHEDULE STEMWALL & WOOD FRAMING PER PLAN AND DETAILS, VARIES PER LOCATION

DETAIL 3 SCALE: 3/4"=1'-0" HOLDDOWN SECTION

| I 2 FNGINFFRS | DESIGN AND PLANNING | 17848 NE 198TH PLACE | WOODINVILLE, WA 98072 |
|---|--|----------------------|----------------------------------|
| DATE REVISION 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 | 12/26/2018 BLDG. DPT. COMMENTS ROUND 2 🖉 | | |
| A CALL CALL | N. I. L. N. T. L. F. S. S. ION | | |
| CHK E BJL SCALE BAR = | Uary TE 3Y: : AS :1" | | DE NCE 2019 PY W BY: |
| FULL | | 4 ~ 1 | 0 /05 |
| FULL DATE: JOB N SHEET | | | 6/2018 18-038 OF 11 |



1. 2" DIAMETER PIPE PILES DRIVEN WITH A MINIMUM 90-POUND JACKHAMMER OR A 140 POUND RHINO HAMMER TO A FINAL PENETRATION RATE OF 1-INCH OR LESS FOR ONE MINUTE OF CONTINUOUS

2. CONTRACTOR TO COORDINATE CURBS AND ELECTRICAL AND MECHANICAL FLOOR OPENINGS AND

3. THE BOTTOM OF ALL PERIMETER FOOTINGS SHALL BE A MINIMUM OF 18" BELOW GRADE AND BEAR

4. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE

5. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE

6. SLAB ON GRADE SHALL BE 4^{1}_{2} " THICK WITH WWF 6X6-W2.1X2.1 MID DEPTH TYP. CRACK CONTROL

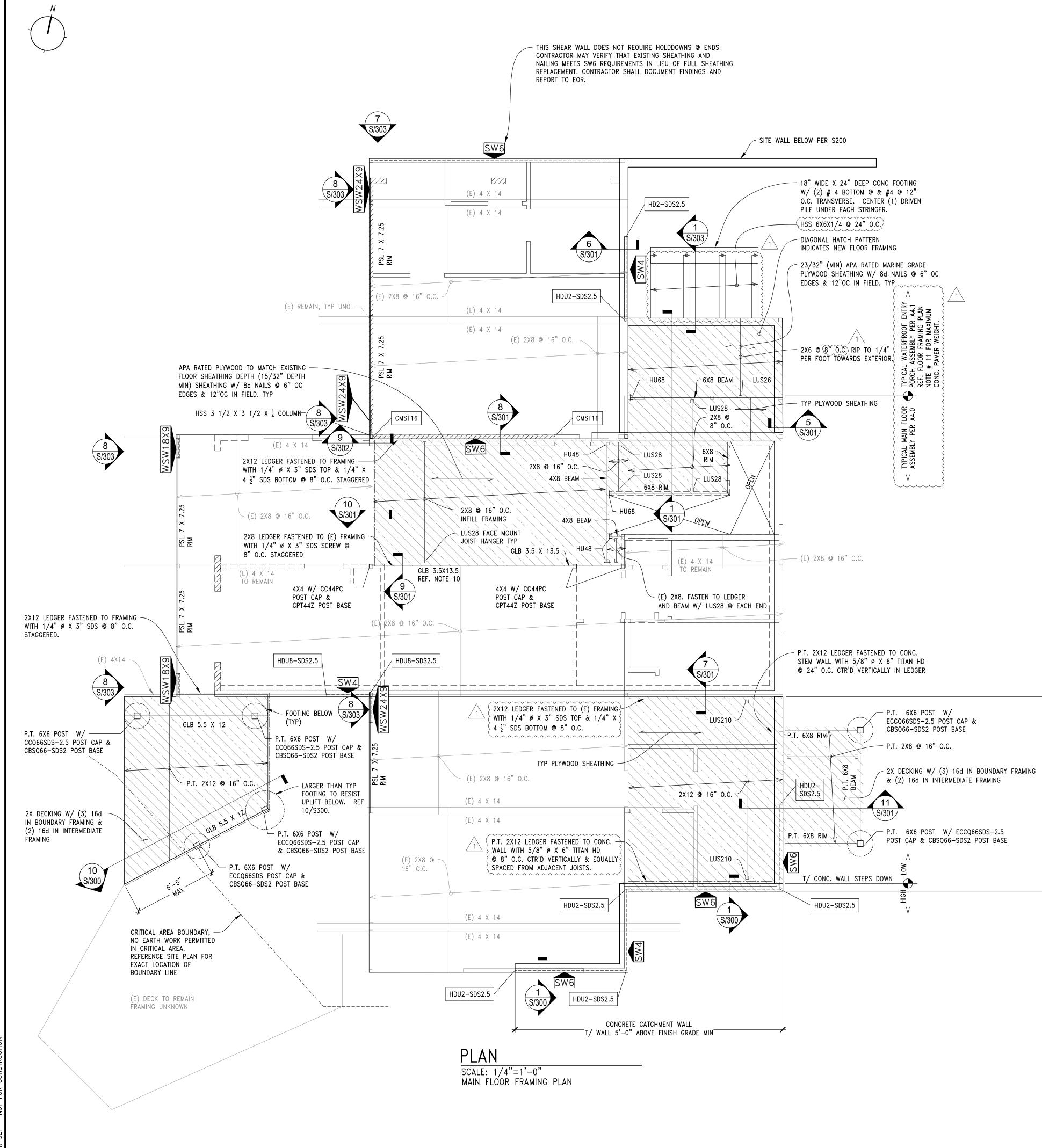
7. TYPICAL STEM WALL: 8" THICK CAST IN PLACE CONCRETE WALL WITH #4 @ 12" OC EACH WAY.

1 8. At locations at which new foundation walls abut existing foundation walls, epoxy embed NEW LONGITUDINAL WALL REINFORCING 6" INTO EXISTING WALL USING SIMPSON SET XP EPOXY. ROUGHEN EXISTING CONCRETE AT INTERFACE TO 1/4" AMPLITUDE.

EXTEND LONGITUDINAL GRADE BEAM REINFORCING 24" MIN INTO PC4. CONNECT PC4 TO ADJACENT FOUNDATIONS WITH (2) #4 (EPOXY SET W/ SIMPSON SET XP) 6" INTO (E) FOOTINGS (MID DEPTH)

10. PIPE PILES UNDER RETAINING WALL NOT ON PLAN, REFERENCE DETAIL 1/S300 FOR PILE PLACEMENT.

| LZ ENGINEERS DESIGN AND PLANNING 17848 NE 198TH PLACE WOODINVILLE, WA 98072 | |
|---|--|
| DATE REVISION 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 1 12/26/2018 BLDG. DPT. COMMENTS ROUND 2 2 | |
| HN 1. LOSHBOLD | |
| FEHA RESIDENCE DEMA, MERCER ISLAND, WA 98040 FOUNDATION PLAN FOUNDATION PLAN | |
| CHK BY: DRW BY: BJL BJL | |
| CHK BY: DRW BY: | |



KEY CIP CONCRETE STEM WALL BELOW _____ === WALL BELOW WALL ===== SHEAR WALL SW# HOLDDOWN MARK (REF. HOLDDOWN SCHEDULE)

FLOOR FRAMING PLAN NOTES

- UNO.
- AND GENERAL NOTES.
- SHALL BE PRESSURE-TREATED.
- SUPPORTED BY (2) STUDS MINIMUM, UNO ON PLAN.
- 7. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SHORING.
- OF 25 LB/SF.

SHEAR WALL INDICATOR (REF. SHEAR WALL SCHEDULE)

1. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. COLUMNS AND FOOTINGS ARE CENTERED ON GRID, TYPICAL. ALL EXISTING DIMENSIONS SHALL BE FIELD VERIFIED. ALL DIMENSIONS ARE TO INSIDE FACE OF CONCRETE, OUTSIDE FACE OF CONCRETE OR CENTERLINE OF GRID/STEEL. CONTINUOUS FOOTINGS ARE CENTERED UNDER WALLS/STRUCTURAL PANELS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED ON FOOTING OR WALL PIER,

2. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, ELECTRICAL AND SPRINKLER DRAWINGS. FOR STAIR DETAILS AND GUARDRAILS, REFERENCE ARCHITECTURAL DRAWINGS. 3. AT ALL BEARING AND SHEAR WALLS, REFERENCE STUD GRADE, SIZES AND SPACING PER PLANS

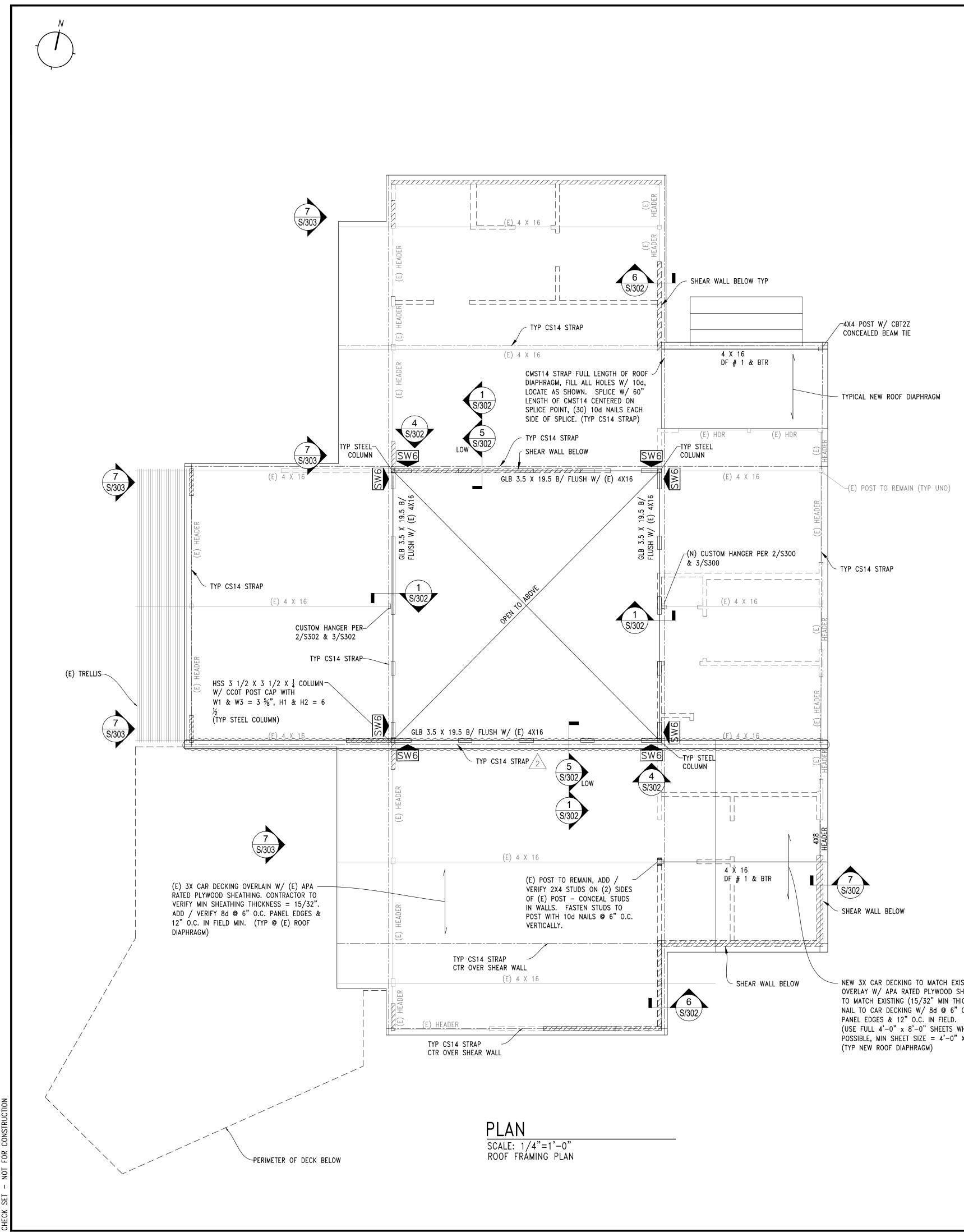
4. ALL WOOD IN CONTACT WITH WEATHER-EXPOSED CONCRETE OR WITHIN 6" OF FINISHED GRADE

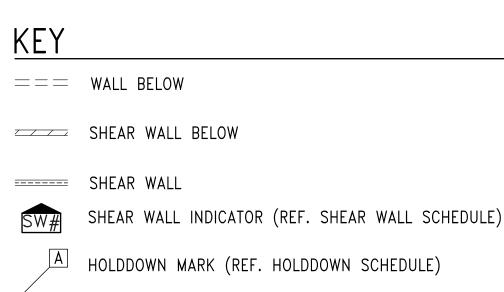
5. ALL METAL HARDWARE FOR EXTERIOR USE SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL 6. HEADERS SHOWN BUT NOT SPECIFIED ARE TO BE 4X10 MINIMUM. HEADERS SHOWN SHALL BE

FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS. AT TYPICAL WATERPROOF ENTRY PORCH ASSEMBLY, USE CONCRETE PAVERS WITH MAXIMUM WEIGHT

10. SPLICE NEW GLB W/ EXISTING BEAM OVER CENTERLINE OF NEW POST

| | | DESIGN AND PLANNING | 17848 NE 198TH PLACE | WOODINVILLE. WA 98072 | |
|----------------------------------|---|---------------------|---|---|---|
| DATE REVISION | 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 $\overline{12}$ 12/26/2018 BLDG. DPT. COMMENTS ROUND 2 $\overline{2}$ | | | | |
| 1 | a lan t | | HINGRO | CONT AND | |
| IN DECIDENCE | | | | L RAMING | |
| J: CH | N ESO REA FOR SITE | | WE OD AN 3, 2 | E ICI 201 Y | 9 |
| CH BJ SC | A 2292 REV FOR OMP SITE | | WE OD AN 3, 2 OP DRW BJL | | 9 |
| CH BJ SC BA FU | A 2292 REV FOR SITE K BY: L KALE: AS R =1" | C 2 C | WE DD AN 3, 2 DRW BJL OWN | DECI201 | 9 |
| CH BJ SC BA FU DA | A 229 REV FOR COMP SITE K BY: L KALE: AS R =1" | C 2 C | WE DD AN 3, 2 OP DRW BJL OWN | DECI201 | 9 |





ROOF FRAMING PLAN NOTES

- ON FOOTING OR WALL PIER, UNO.
- DRAWINGS.
- SHEAR WALLS, STUD GRADES, SIZES AND SPACING.
- SHALL BE PRESSURE-TREATED
- TREATED LUMBER.

- NEW 3X CAR DECKING TO MATCH EXISTING, OVERLAY W/ APA RATED PLYWOOD SHEATHING TO MATCH EXISTING (15/32" MIN THICKNESS) NAIL TO CAR DECKING W/ 8d @ 6" O.C. (USE FULL 4'-0" x 8'-0" SHEETS WHEREVER POSSIBLE, MIN SHEET SIZE = $4'-0'' \times 4'-0''$

1. REFERENCE S1.0 FOR GENERAL STRUCTURAL NOTES AND DESIGN CRITERIA. 2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. CONTINUOUS INTERIOR FOOTINGS ARE CENTERED GRIDLINES. CONTINUOUS EXTERIOR FOOTINGS ARE CENTERED UNDER EXTERIOR WALLS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED

3. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL

4. HEADERS SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNLESS SPECIFIED OTHERWISE ON PLAN. 5. ALL EXTERIOR STUD WALLS SHOWN ON THIS PLAN SHALL BE FRAMED WITH 2x4.

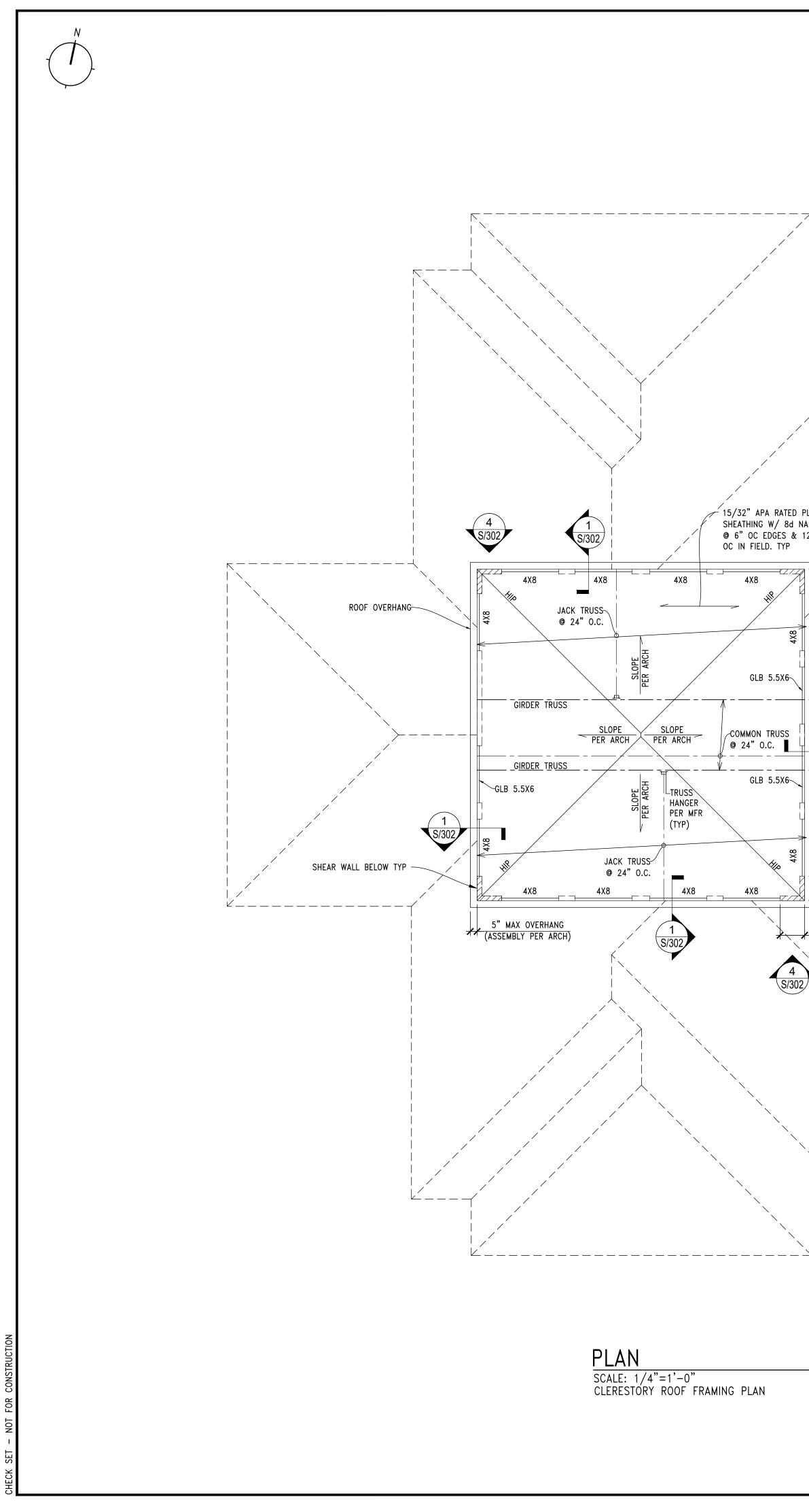
REFERENCE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING WOOD-FRAMED, BEARING AND

6. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE

7. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE

(10. FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE $\left\{ \begin{array}{c} 1 \end{array} \right\}$ REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS.

| L2 ENGINEERS | DESIGN AND PLANNING 17848 NE 198TH PLACE WOODINVILLE, WA 98072 |
|---|--|
| | |
| DATE REVISION 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 A 12/26/2018 BLDG. DPT. COMMENTS ROUND 2 2 | |
| E um T | |
| COMF Januar SITI | ROOF FR |
| SCALE: AS BAR =1" | S SHOWN |
| FULL SIZE | 12/26/2018 |





=== wall below

SHEAR WALL BELOW

ROOF FRAMING PLAN NOTES ON FOOTING OR WALL PIER, UNO. 15/32" APA RATED PLYWOOD DRAWINGS. SHEATHING W/ 8d NAILS @ 6" OC EDGES & 12" OC IN FIELD. TYP 4X8 WALLS, STUD GRADES, SIZES AND SPACING. PERIMETER OF LOW ROOF BELOW SHALL BE PRESSURE-TREATED TREATED LUMBER. 9. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING CRITERIA: GLB 5.5X6 INFORMATION. **—** — — — — — — — OF REVISIONS TO PLAN. COMMON TRUSS Ø 24" 0.C. POINTS, TYP. _ ____ _ _ _ \S/302 GLB 5.5X6 <u>1</u>7Р WIN -4X8 1'-6' MIN S/302 -----

1. REFERENCE S1.0 FOR GENERAL STRUCTURAL NOTES AND DESIGN CRITERIA. 2. DIMENSIONS: VERIFY ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS. CONTINUOUS INTERIOR FOOTINGS ARE CENTERED GRIDLINES. CONTINUOUS EXTERIOR FOOTINGS ARE CENTERED UNDER EXTERIOR WALLS. POSTS, BUNDLED STUDS OR COLUMNS ARE TO BE CENTERED

3. FOR ALL DUCTS, CHASES AND PIPES, REFERENCE MECHANICAL, PLUMBING, AND ELECTRICAL

4. HEADERS SHALL BE SUPPORTED BY (2) STUDS MINIMUM, UNLESS SPECIFIED OTHERWISE ON PLAN. 5. ALL EXTERIOR STUD WALLS SHOWN ON THIS PLAN SHALL BE FRAMED WITH 2X6. REFERENCE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING WOOD-FRAMED, BEARING AND SHEAR

6. ALL WOOD IN CONTACT WITH WEATHER, EXPOSED CONCRETE, OR WITHIN 8" OF FINISHED GRADE

7. USE HOT DIPPED GALVANIZED FASTENERS AND ZMAX HARDWARE AT CONNECTIONS TO PRESSURE

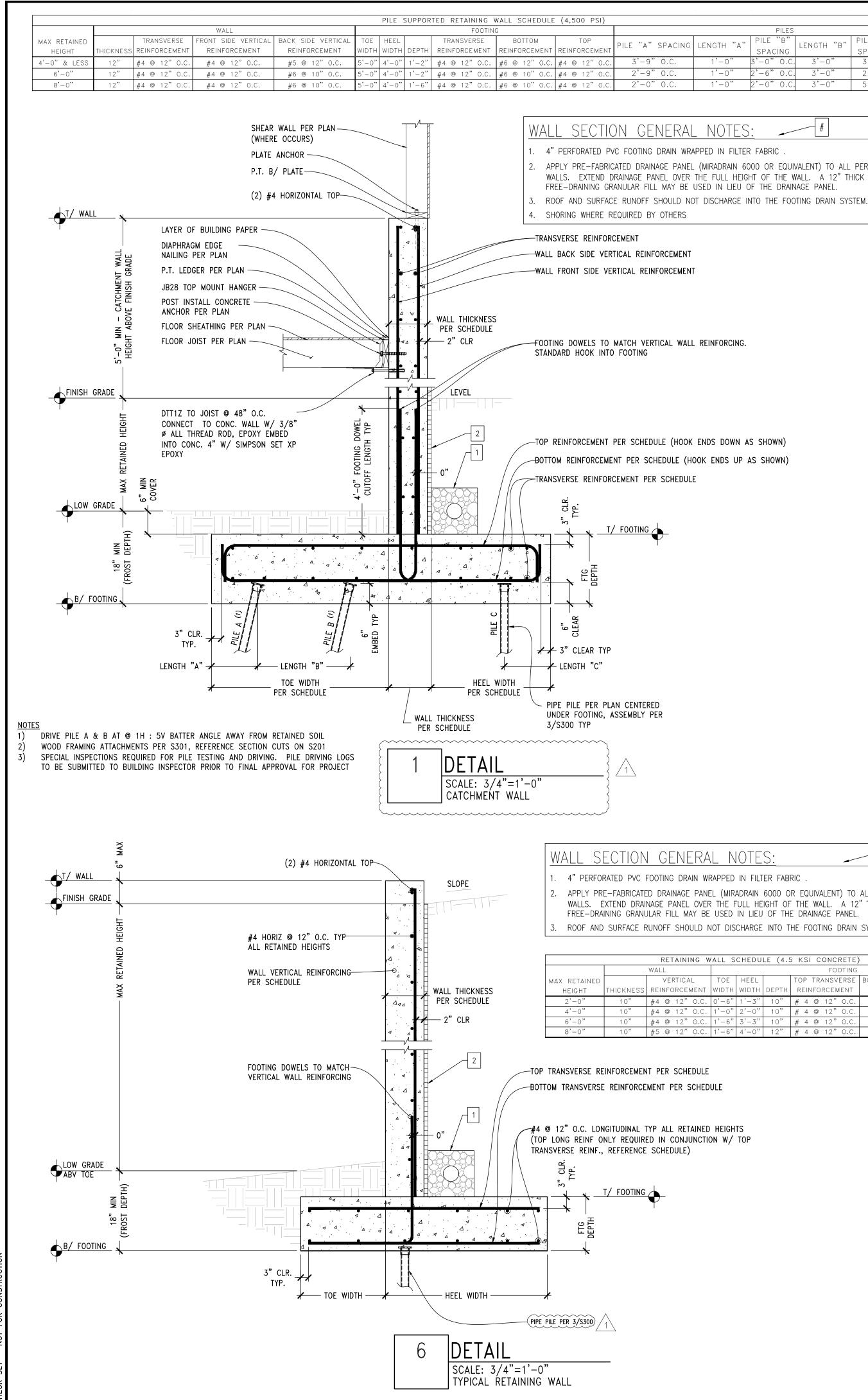
• REFER TO THE STRUCTURAL GENERAL NOTES FOR STANDARD DEAD AND LIVE LOADS AND SUBMITTAL

• TRUSS SUPPLIER IS RESPONSIBLE FOR FINAL TRUSS LAYOUT AND CONFIGURATION. NOTIFY ENGINEER

• PROVIDE SIMPSON H1 HURRICANE TIES AT ALL ROOF TRUSSES AT INTERIOR AND EXTERIOR BEARING

(10. FULL WIDTH AND DEPTH COMPRESSION BLOCKING (GRAIN ORIENTED VERTICALLY) SHALL BE REQUIRED IN FLOOR INTERSTITIAL SPACE UNDER COLUMNS, STUD PACKS, AND HOLDDOWNS.

| L2 ENGINEERS Design and planning | 17848 NE 198TH PLACE WOODINVILLE, WA 98072 |
|--|---|
| DATE REVISION 10/29/2018 BLDG. DPT. COMMENTS ROUND 1 A 12/26/2018 BLDG. DPT. COMMENTS ROUND 2 2 | |
| The size of the si | A BOULD |
| PEHA RESIDENCE 7653 W MERCER WAY, MERCER ISLAND, WA 98040 | CLERESTORY ROOF FRAMING PLAN |
| | ANCE 3, 2019 |
| SCALE: AS SHO BAR =1" FULL SIZE | OWN |



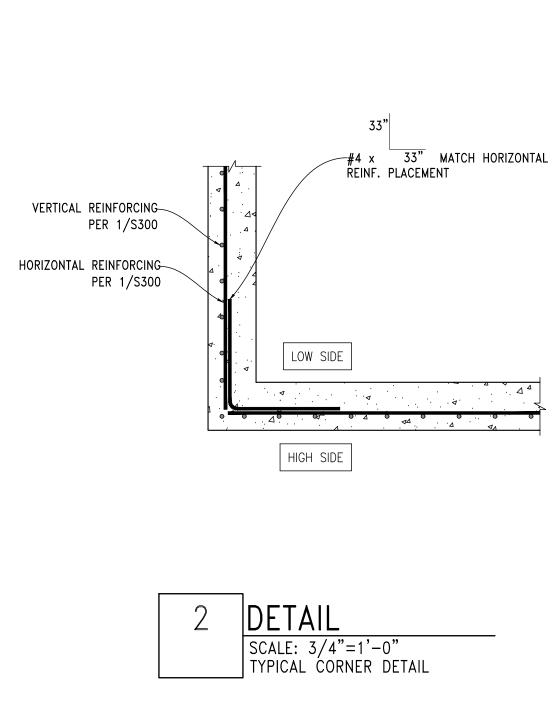
| PILES | | | | | | | | | |
|-------|-------|------------|------------|----------|------------|--|--|--|--|
| ACING | | PILE "B" | LENGTH "B" | PILE "C" | LENGTH "C" | | | | |
| | | SPACING | | SPACING | | | | | |
| С. | 1'-0" | 3'-0" O.C. | 3'-0" | 3'-0" | 1'-0" | | | | |
| C. | 1'-0" | 2'-6" O.C. | 3'-0" | 2'-6" | 1'-0" | | | | |
| C. | 1'-0" | 2'-O" O.C. | 3'-0" | 5'-9" | 1'-0" | | | | |

APPLY PRE-FABRICATED DRAINAGE PANEL (MIRADRAIN 6000 OR EQUIVALENT) TO ALL PERIMETER RETAINING WALLS. EXTEND DRAINAGE PANEL OVER THE FULL HEIGHT OF THE WALL. A 12" THICK LAYER OF

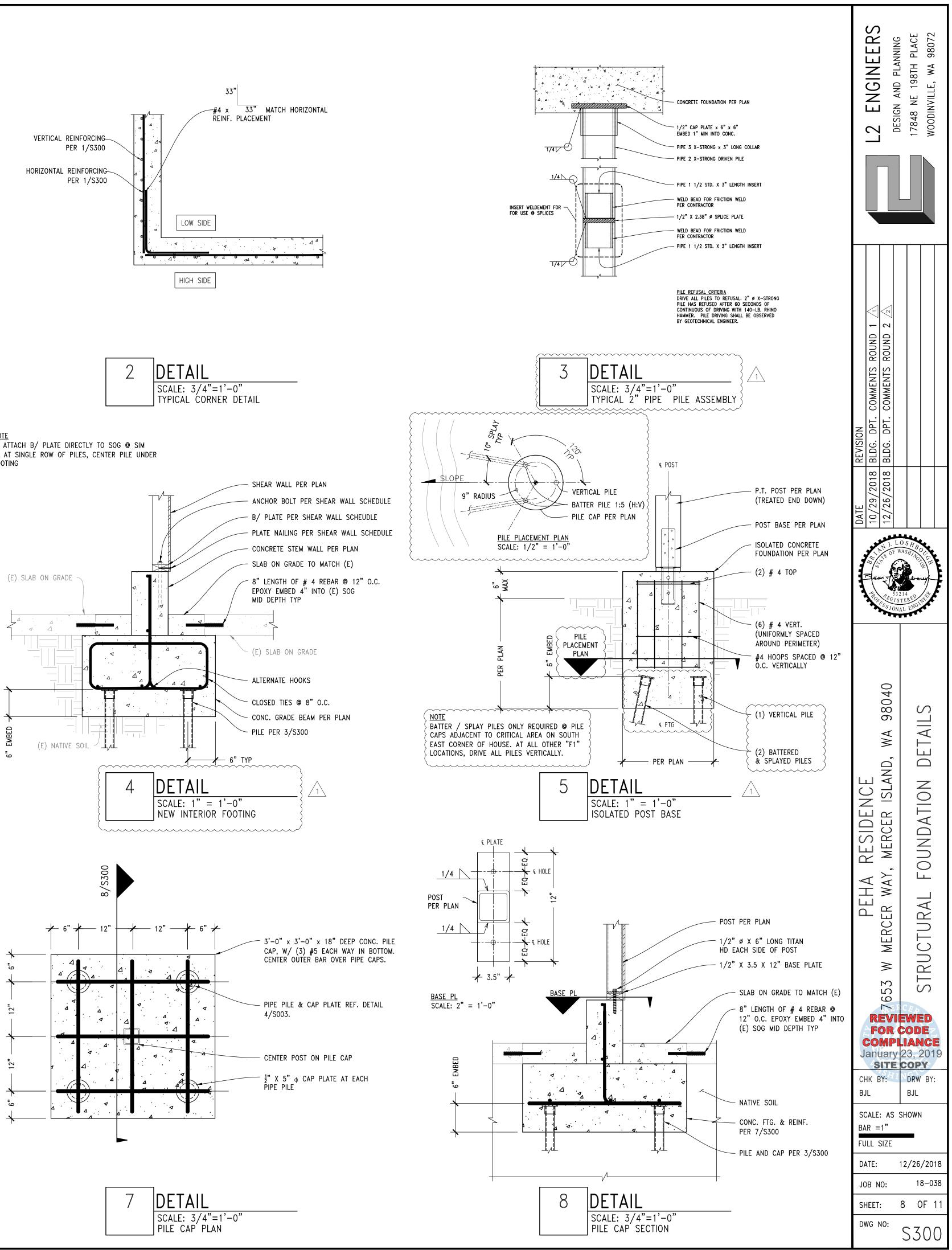
#

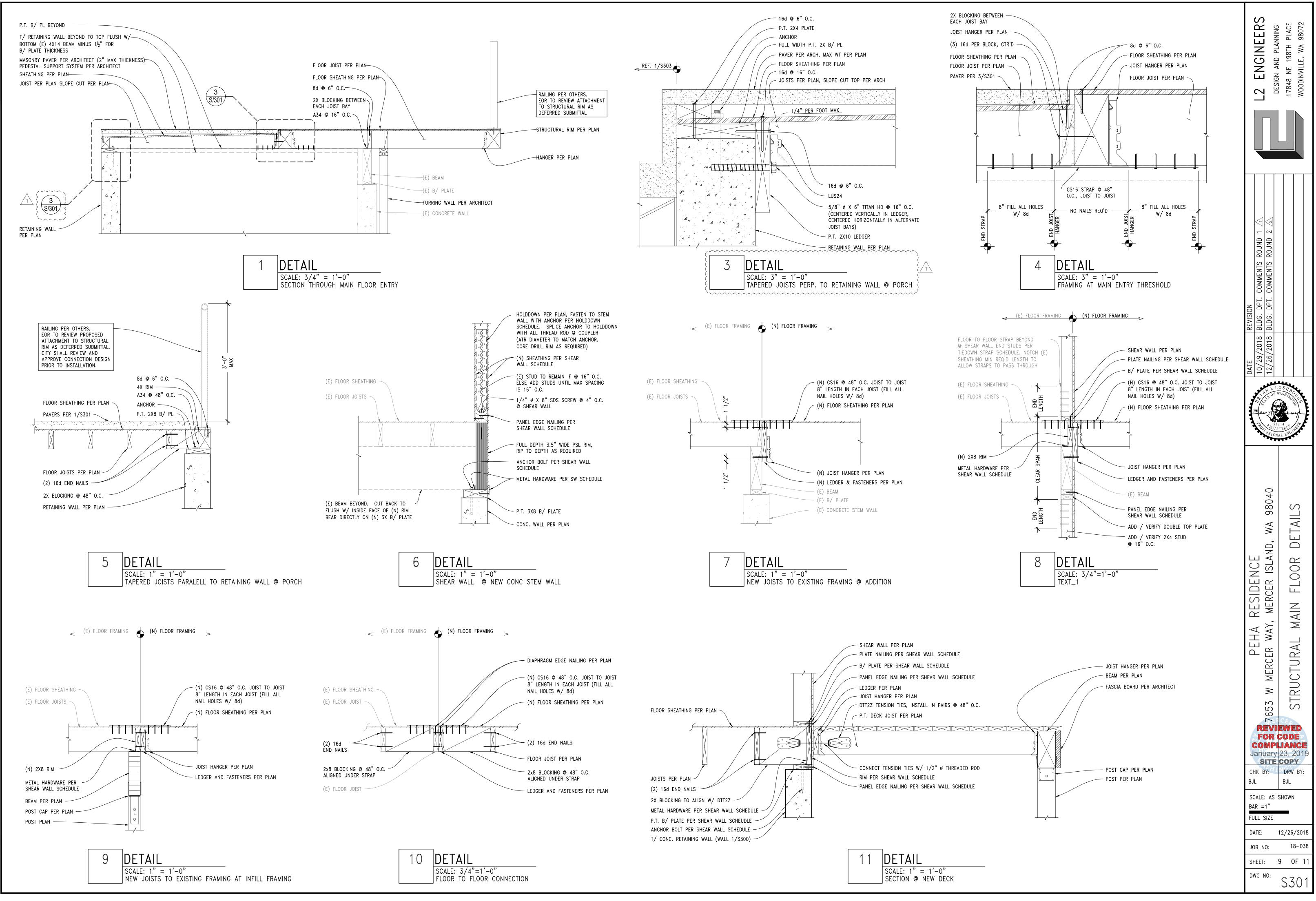
APPLY PRE-FABRICATED DRAINAGE PANEL (MIRADRAIN 6000 OR EQUIVALENT) TO ALL PERIMETER RETAINING WALLS. EXTEND DRAINAGE PANEL OVER THE FULL HEIGHT OF THE WALL. A 12" THICK LAYER OF ROOF AND SURFACE RUNOFF SHOULD NOT DISCHARGE INTO THE FOOTING DRAIN SYSTEM.

| TAINING WALL SCHEDULE (4.5 KSI CONCRETE) | | | | | | | | | |
|--|---------|-------|-------|----------------|-------------------|---------|--|--|--|
| | FOOTING | | | | | | | | |
| ERTICAL | TOE | HEEL | | TOP TRANSVERSE | BOTTOM TRANSVERSE | PILE | | | |
| ORCEMENT | WIDTH | WIDTH | DEPTH | REINFORCEMENT | REINFORCEMENT | SPACING | | | |
|) 12" O.C. | 0'-6" | 1'-3" | 10" | # 4 @ 12" O.C. | # 4 @ 12" O.C. | 6'-0" | | | |
|) 12" O.C. | 1'-0" | 2'-0" | 10" | # 4 @ 12" O.C. | # 4 @ 12" O.C. | 3'-10" | | | |
|) 12" O.C. | 1'-6" | 3'-3" | 10" | # 4 @ 12" O.C. | # 4 @ 12" O.C. | 1'-9" | | | |
|) 12" O.C. | 1'-6" | 4'-0" | 12" | # 4 @ 12"O.C. | # 4 @ 12" O.C. | 1'-2" | | | |



NOTE 1) ATTACH B/ PLATE DIRECTLY TO SOG @ SIM 2) AT SINGLE ROW OF PILES, CENTER PILE UNDER FOOTING





C SET - NOT FOR CONSTRUCTION

